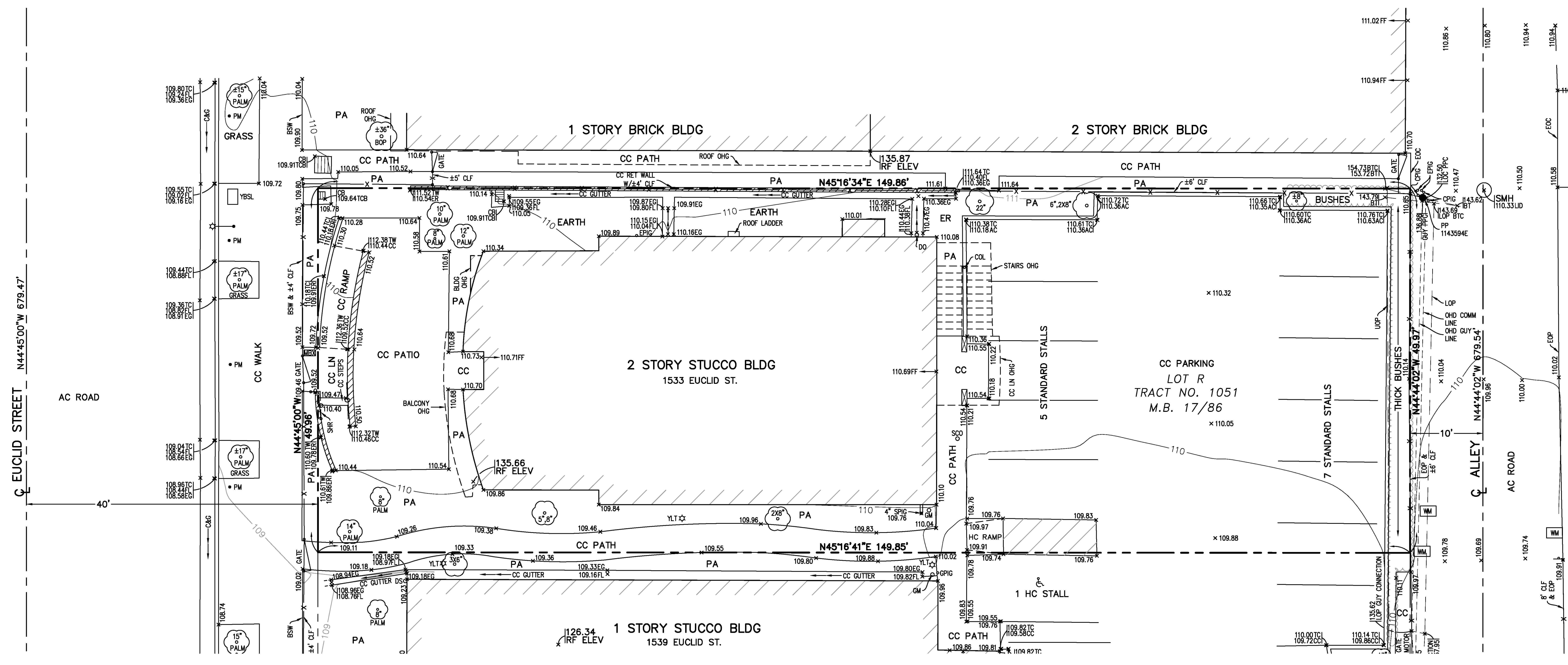
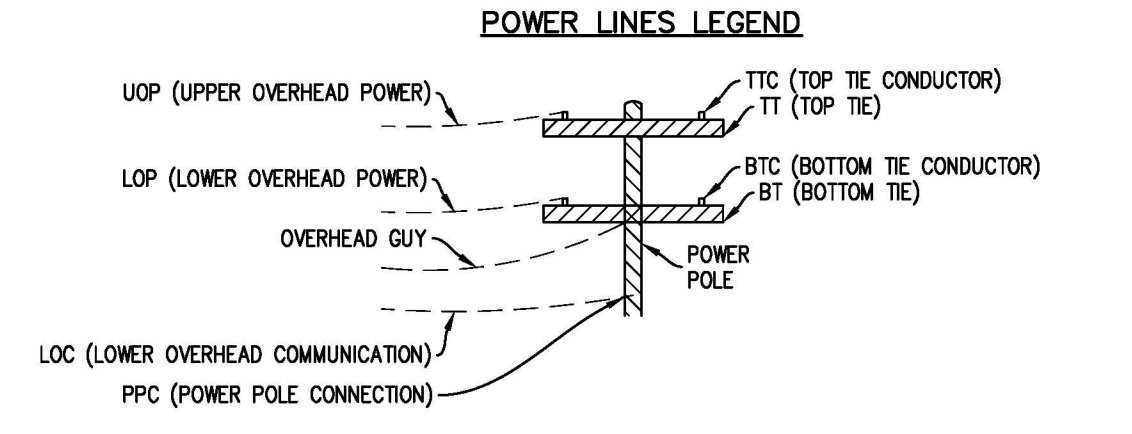


LEGEND	ABBREVIATIONS
--- CENTER LINE	AC ASPHALT CONCRETE
--- PROPERTY LINE	BLDG BUILDING
--- CURB UNLESS OTHERWISE NOTED	BPD BIRD OF PARADISE
--- WALL	BSW BACK OF SIDEWALK
-X-X- FENCE	BT BOTTOM TIE
-O-O- HANDRAIL	BTC BOTTOM TIE CONDUCTOR
● PP POWER POLE	C&G CURB & GUTTER
PM • PARKING METER	CB CATCH BASIN
⊙ STREET LIGHT	CC CONCRETE
YLT • YARD LIGHT	CLF CHAIN LINK FENCE
--- SURFACE DRAIN	COL COLUMN
⊕ SIGN	COMM COMMUNICATION
⊙ TREE WITH TRUNK DIAMETER	DO DRAIN OUTLET
	DS DOWN SPOUT
	DWY DRIVEWAY
	EG EDGE OF GUTTER
	ELEV ELEVATION
	EM ELECTRICAL METER
	ENC ENCLOSURE
	EDC EDGE OF CONCRETE
	EDP EDGE OF PAVING
	ERT EARTH
	FF FINISH FLOOR
	FL FLEM LINE
	GM GAS METER
	GPIG GAS PIPE IN GROUND
	INF IRON FENCE
	LN LANDING
	LDC LOWER OVERHEAD COMMUNICATION
	LDP LOWER OVERHEAD POWER
	M.B. MAP BOOK
	MBX MAILBOX
	DHD OVERHEAD OVERHANG
	PA PLANTING AREA
	PM PARKING METER
	PP POWER POLE
	PPC POWER POLE CONNECTION
	PWR POWER
	RF S. GATE
	SLIDE GATE
	SCD SEWER CLEAN OUT
	SHR STEEL HANDRAIL
	SLT STREET LIGHT
	SMH SEWER MANHOLE
	SPIG SEWER PIPE IN GROUND
	TCB TOP OF CURB
	TCD TOP OF CATCH BASIN
	TT TOP TIE
	TTC TOP TIE CONDUCTOR
	TM TOP OF WALL
	UDP UPPER OVERHEAD POWER
	WDF WOOD FENCE
	WM WATER METER
	YBSL YARD BOX STREET LIGHT
	YLT YARD LIGHT



NOTES

- REFERENCE DOCUMENT FOR LEGAL DESCRIPTION AND EASEMENTS: FIDELITY NATIONAL TITLE COMPANY PRELIMINARY REPORT, PRELIM. NO. 1500-2607217, DATED MARCH 25, 2026.
- ASSESSOR'S PARCEL NUMBER: 4282-033-025.
- LAND AREA: 7,487 SQ. FT. 0.172 ACRE

BRIEF LEGAL DESCRIPTION

PARCEL 1:
LOT R OF TRACT NO. 1051, M.B. 17/86.

EASEMENT NOTE

THERE ARE NO EASEMENTS PER THE REFERENCED PRELIMINARY TITLE REPORT.

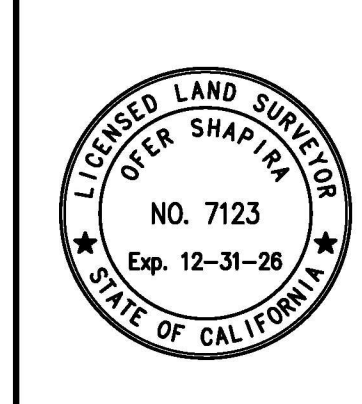
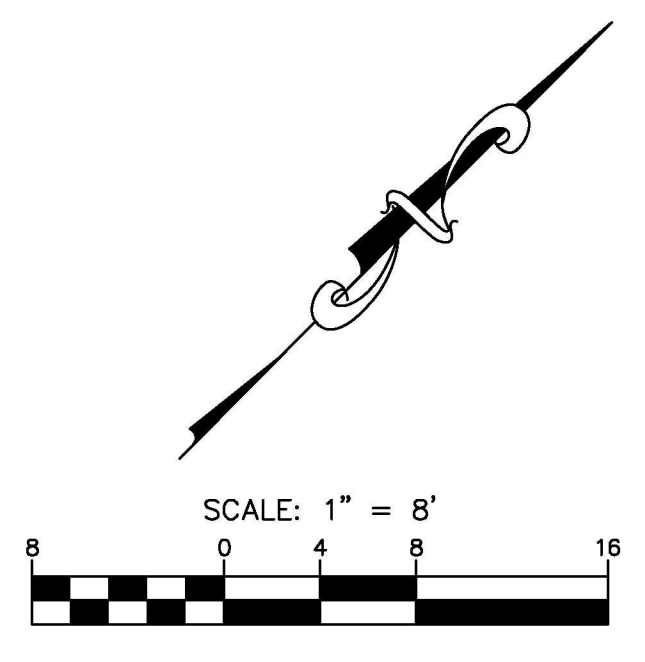
BASIS OF BEARINGS

THE CENTERLINE OF EUCLID STREET, FORMERLY EUCLID AVENUE, BEING N 44°45'00" W PER TRACT NO. 1051 M.B. 17/86.

BENCH MARK

CITY OF SANTA MONICA BENCH MARK ID NO. 1042
FIELD BOOK: 434-88
ELEV=124.825 FT

DESCRIPTION: P.K. NAIL IN LEAD IN SOUTHEAST CURB OF SANTA MONICA BOULEVARD 12.0 FT NORTHEAST OF NORTHEAST CURB OF EUCLID ST.



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**TOPOGRAPHIC SURVEY OF 1533 EUCLID STREET
SANTA MONICA, CALIFORNIA 90404**

DATE: 4-14-26	DRAWN BY: A.S., V.L.
DATE OF SURVEY: 3-4-26	CHECKED BY: O.S.
JOB NAME: AUX/EUCLID	SHEET: 1 OF 1

PROJECT OWNER:

CONTACT:
TEL:

LANDSCAPE DESIGNER:

PROJECT:

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW



1533 EUCLID, SANTA MONICA, CA 90404

PROJECT NO: 265

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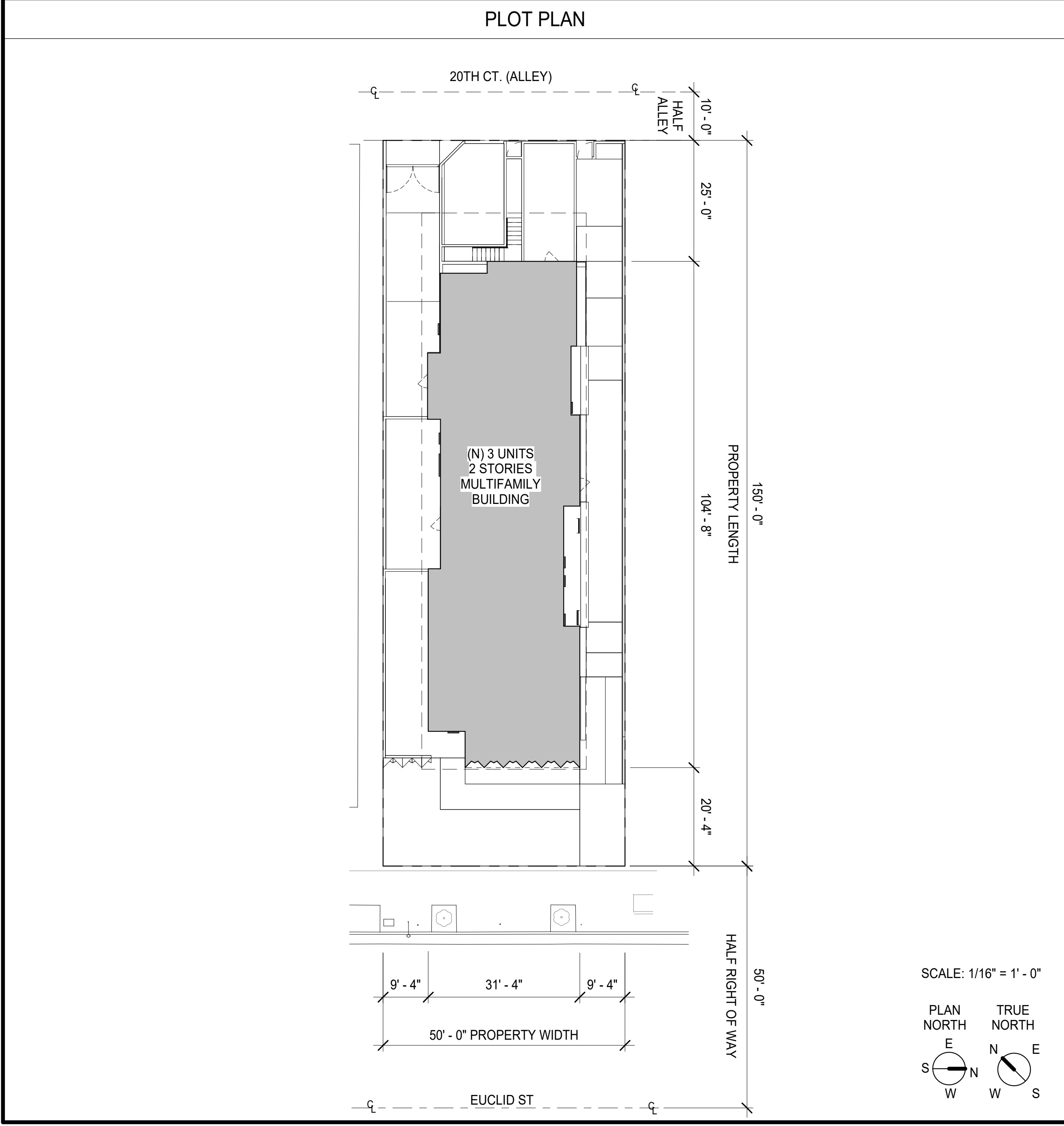
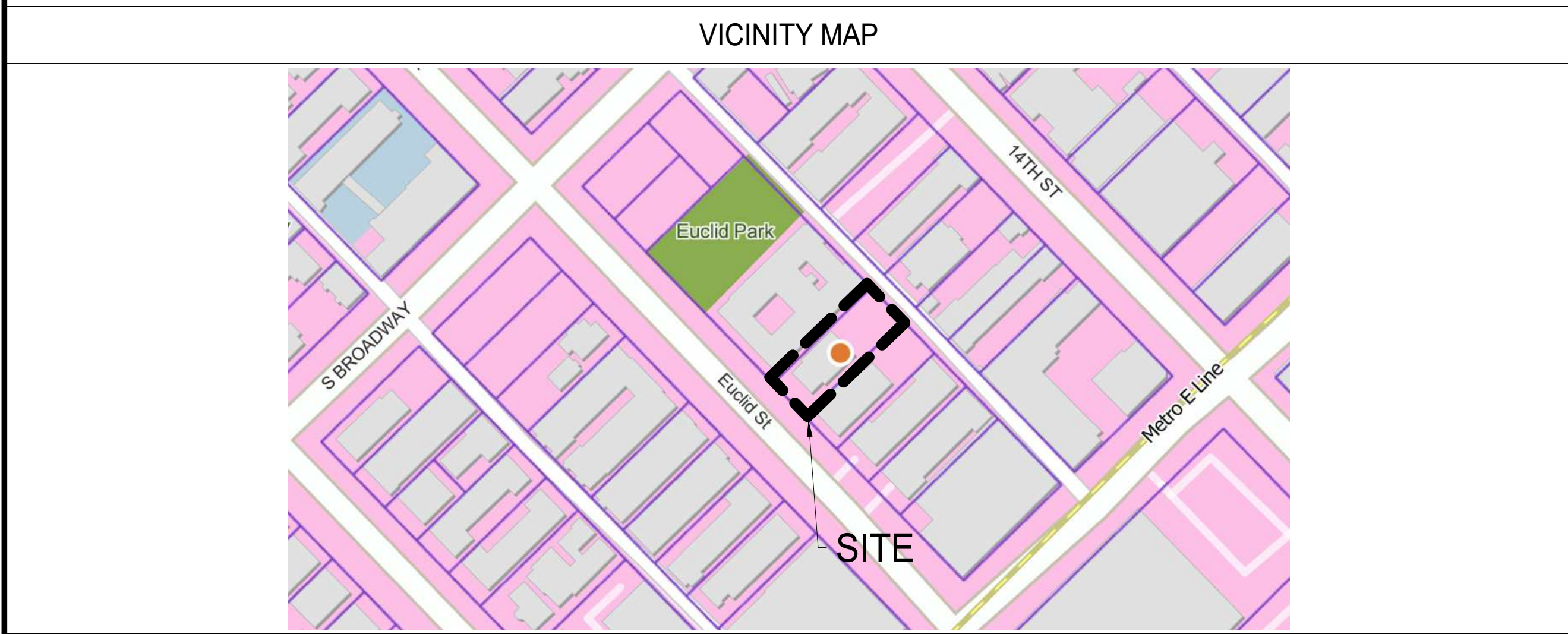
SHEET SIZE: 30X42

DRAWING TITLE:

COVER SHEET

SHEET NO:

A000



SHEET INDEX

Sheet Number	Sheet Name
SURVEY	
ARCHITECTURAL	
A001	PROJECT INFO
A035	FLOOR AREA CALCULATION
A036	ZONING DIAGRAMS
A037	CODE ANALYSIS
A110	SITE PLAN
A200	BASEMENT FLOOR PLAN
A210	FIRST FLOOR PLAN
A220	SECOND FLOOR PLAN
A230	ROOF PLAN
A300	SECTIONS
A301	SECTIONS
A302	SECTIONS
A400	EXTERIOR ELEVATIONS
A401	EXTERIOR ELEVATIONS
A402	EXTERIOR ELEVATIONS
A900	DETAILS - EXTERIOR WALLS
A910	SITE DETAILS
A950	FINISH AND FIXTURE SCHEDULE
A960	DOOR & WINDOW SCHEDULES
A970	DOOR & WINDOW DETAILS
LANDSCAPE	
L6.10	LANDSCAPE PLAN
L6.11	PLANT MATERIAL

GRAPHIC SYMBOLS

	BUILDING STRUCTURAL GRID LINES
	DETAIL NUMBER SHEET NUMBER
	CALL OUT NUMBER SHEET NUMBER
	SECTION NUMBER SHEET NUMBER
	SINGLE ELEVATION IDENTIFICATION: ELEVATION NUMBER SHEET NUMBER
	INTERIOR ELEVATION IDENTIFICATION: ELEVATION NUMBER SHEET NUMBER
	BULLETIN (OR ADDENDUM): AREA OF REVISION REVISION NUMBER
	FINISH FLOOR ELEVATION SYMBOL
	ROOM NAME ROOM NUMBER
	STAIR/RAMP DIRECTION: ARROW POINTS UP
	ALIGN
	PLAN NORTH REFERENCE
	KEYNOTE SYMBOL
	DOOR NUMBER
	WINDOW NUMBER
	"NOT IN CONTRACT": NO WORK IN THIS AREA
	E - EXISTING TO REMAIN N - NEW TO MATCH EXISTING D - DEMO R - RELOCATED EXISTING/SALVAGE FOR RELOCATION (@DEMO PLAN)
	SHEET NUMBERING
	PROJECT DESIGNATOR SEQUENCE NUMBER SHEET TYPE DISCIPLINE DESIGNATOR

UNIT AREA SUMMARY

UNIT A	UNIT B	UNIT C
LEVEL 2 899 SF	LEVEL 2 784 SF	LEVEL 2 820 SF
LEVEL 1 976 SF	LEVEL 1 733 SF	LEVEL 1 758 SF
BASEMENT 553 SF	BASEMENT 509 SF	BASEMENT 440 SF
2428 SF	2026 SF	2018 SF

DEFERRED PERMITS

FIRE ALARM	FIRE SPRINKLER - NFPA 13R SYSTEM PER SMMC 8.44.050 AND THE CFC
------------	--

ZONING CODE - BICYCLES

REQUIRED:

- SHORT TERM: 10% OF LONG-TERM BICYCLE REQUIREMENT, (2) SPACES MINIMUM = 2 SPACES
- LONG TERM: 1 SPACE PER BEDROOM = 3 SPACES PER UNIT (9 TOTAL)

PROVIDED:

- SHORT TERM: 4 SPACES IN THE FRONT YARD (2 PER SMMC STANDARDS)
- LONG TERM: 9 SPACES IN THE PARKING AREA

ZONING CODE SUMMARY

PARCEL ZONING: R3

GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL

LAND USE: RESIDENTIAL

ALLOWABLE FLOOR AREA: 11,246 SF

PROPOSED FLOOR AREA: 5,038 SF

ALLOWABLE LOT DENSITY: 1 UNIT PER 1,250 SF

ALLOWABLE # OF UNITS: 6 (7,497 SF / 1,250 SF = 5.9976 = 6)

UNIT PROVIDED: 3

PARKING REQUIRED: 6 (2 PARKING PER UNIT)

PARKING PROVIDED: 6

APPLICABLE CODES

JURISDICTION:
CITY OF SANTA MONICA,
COUNTY OF LOS ANGELES
CALIFORNIA

BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2025 CALIFORNIA BUILDING CODE (CBC)
- 2025 CALIFORNIA MECHANICAL CODE (CMC)
- 2025 CALIFORNIA PLUMBING CODE (CPC)
- 2025 CALIFORNIA ELECTRICAL CODE (CEC)
- 2025 CALIFORNIA ENERGY CODE (CEC)
- 2025 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- 2025 CALIFORNIA RESIDENTIAL CODE (CRC)

ZONING CODE:
SANTA MONICA MUNICIPAL CODE

BUILDING CODE SUMMARY

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

PROPOSED USE: MULTI-FAMILY
BUILDING OCCUPANCY: R-2 (SINGLE FAMILY RESIDENTIAL)
S-2 (PUBLIC PARKING GARAGE/RAMP)
U (PRIVATE GARAGE)

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS

BUILDING HEIGHT ABOVE GRADE PLANE (TABLE 504.3)

ALLOWED: R-3 / TYPE I-B / V-B / S13R = 40'-0"
PROPOSED: 27'-5"

NUMBER OF STORIES ABOVE GRADE PLANE (TABLE 504.4)

ALLOWED: R-3 / TYPE I-B / V-B / S13R = 2 STORIES
PROPOSED: 2 STORIES

AREA FACTOR (TABLE 506.2)

ALLOWED: R-3 / TYPE V-B / S13R = 7,000 sf
S-2 / TYPE I-B / SM = 40,500 sf
U / TYPE I-B / SM = 16,500 sf

PROPOSED: R-3 / TYPE V-B / S13R = 5,459 SF
S-2 / TYPE I-B / SM = 2,172 SF
U / TYPE I-B / SM = 1,746 SF

TYPE OF BUILDING (508): MIXED-USE OCCUPANCY (R-3, S-2, & U)

CHAPTER 6 - TYPES OF CONSTRUCTION

CONSTRUCTION TYPE: TYPE I-B & TYPE V-B
FULLY SPRINKLERED (NFPA 13R) (CONCEALED HEADS)

CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS

FIRE SPRINKLERS:
(N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER SUB-CONTRACTOR

ZONING CODE - BICYCLES

REQUIRED:

- SHORT TERM: 10% OF LONG-TERM BICYCLE REQUIREMENT, (2) SPACES MINIMUM = 2 SPACES
- LONG TERM: 1 SPACE PER BEDROOM = 3 SPACES PER UNIT (9 TOTAL)

PROVIDED:

- SHORT TERM: 4 SPACES IN THE FRONT YARD (2 PER SMMC STANDARDS)
- LONG TERM: 9 SPACES IN THE PARKING AREA

SCOPE OF WORK:

CONSTRUCTION OF A NEW 3-UNIT APARTMENT BUILDING

PROJECT ADDRESS:
1533 EUCLID ST
SANTA MONICA, CA 90404

ASSESSOR PARCEL NUMBER: 4282 033 025

TRACT: 1051

LOT: R

SITE AREA: 7,497 SF

EXISTING USE: FAMILY SERVICE CENTER (4,521 SF)

PROPOSED USE: 3-UNITS WITH 3 BEDS & 2.5 BATHS EACH (9 BEDS & 7.5 BATHS)

BUILDING CODE FLOOR AREA: 5,459 SF

ZONING AREA: 5,038 SF

BUILDING HEIGHT: 27'-5"

NUMBER OF STORIES: 2 + SUBTERRANEAN GARAGE

BUILDING AREA PER ZONING CODE:
FIRST FLOOR: 2,516 SF
SECOND FLOOR: 2,522 SF
TOTAL GROSS: 5,038 SF

BUILDING AREA PER BUILDING CODE:
BASEMENT FLOOR (EXCLUDED): 3,918 SF
FIRST FLOOR: 2,732 SF
SECOND FLOOR: 2,728 SF
TOTAL GROSS: 5,459 SF

BUILDING CODE SUMMARY

CHAPTER 3 - OCCUPANCY CLASSIFICATION AND USE

PROPOSED USE: MULTI-FAMILY
BUILDING OCCUPANCY: R-2 (SINGLE FAMILY RESIDENTIAL)
S-2 (PUBLIC PARKING GARAGE/RAMP)
U (PRIVATE GARAGE)

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PROPOSED: 27'-5"

NUMBER OF STORIES ABOVE GRADE PLANE (TABLE 504.4)

ALLOWED: R-3 / TYPE I-B / V-B / S13R = 2 STORIES
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AREA FACTOR (TABLE 506.2)

ALLOWED: R-3 / TYPE V-B / S13R = 7,000 sf
S-2 / TYPE I-B / SM = 40,500 sf
U / TYPE I-B / SM = 16,500 sf

PROPOSED: R-3 / TYPE V-B / S13R = 5,459 SF
S-2 / TYPE I-B / SM = 2,172 SF
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CHAPTER 9 - FIRE PROTECTION AND LIFE SAFETY SYSTEMS

FIRE SPRINKLERS:
(N) NFPA 13R SPRINKLER SYSTEM PER SEC 903.3.1.2 THROUGHOUT. SPRINKLER SYSTEM UNDER SEPARATE PERMIT BY FIRE SPRINKLER SUB-CONTRACTOR

DEFERRED PERMITS

FIRE ALARM	FIRE SPRINKLER - NFPA 13R SYSTEM PER SMMC 8.44.050 AND THE CFC
------------	--

ZONING CODE - BICYCLES

REQUIRED:

- SHORT TERM: 10% OF LONG-TERM BICYCLE REQUIREMENT, (2) SPACES MINIMUM = 2 SPACES
- LONG TERM: 1 SPACE PER BEDROOM = 3 SPACES PER UNIT (9 TOTAL)

PROVIDED:

- SHORT TERM: 4 SPACES IN THE FRONT YARD (2 PER SMMC STANDARDS)
- LONG TERM: 9 SPACES IN THE PARKING AREA

AUX ARCHITECTURE

910 SOUTH OLIVE STREET
LOS ANGELES, CA 90015
TEL: 1.213.568.3578
ARCHITECT: BRIAN WICKERSHAM
LIC: CA C-32742 / EXP: 07.31.23

PROJECT OWNER:

CONTACT:
TEL:

1533 EUCLID

1533 EUCLID STREET
SANTA MONICA, CA 90404

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

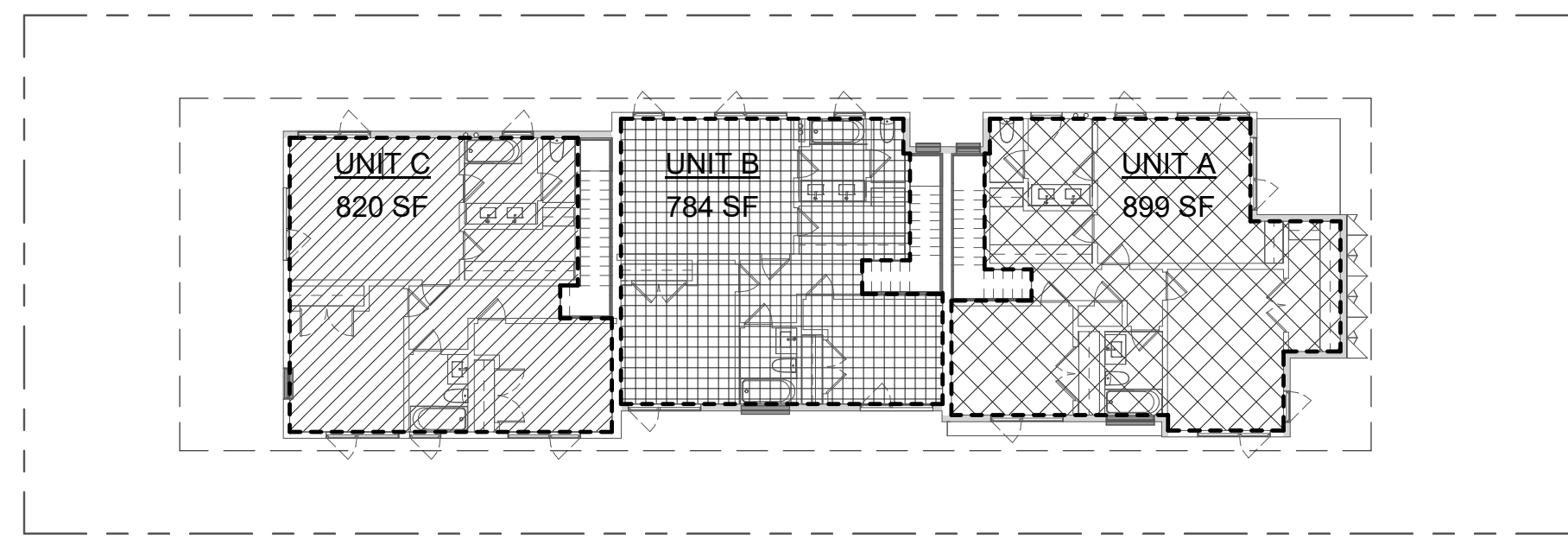
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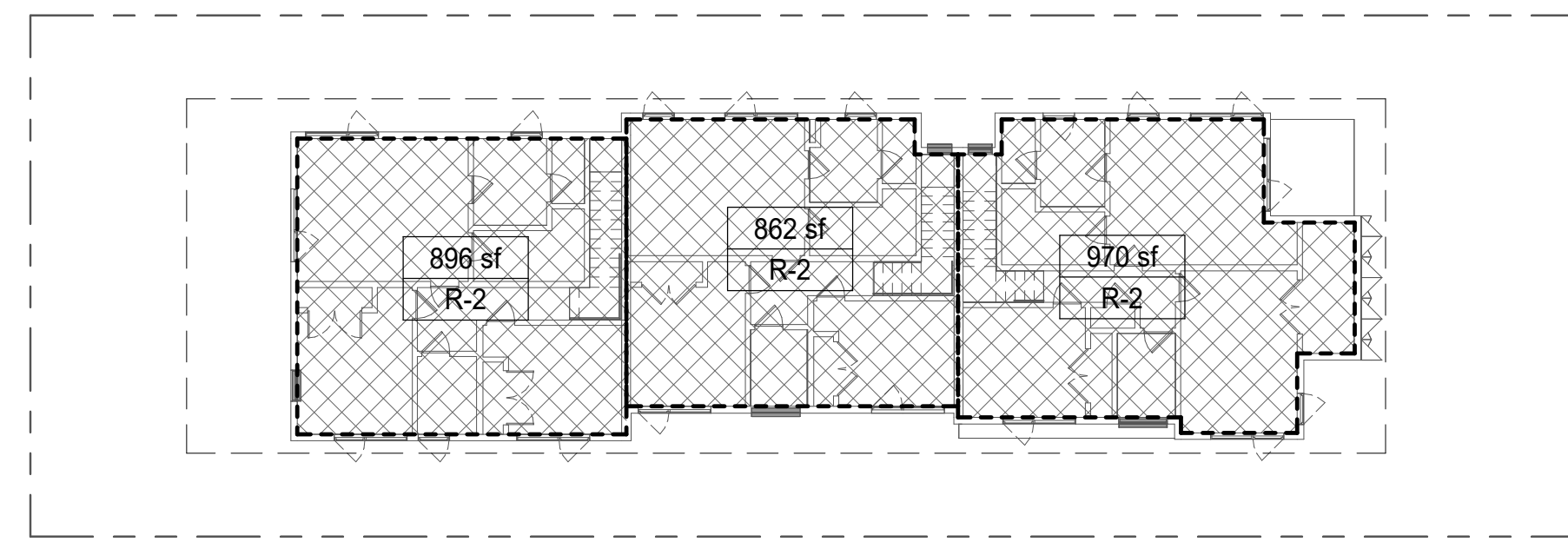
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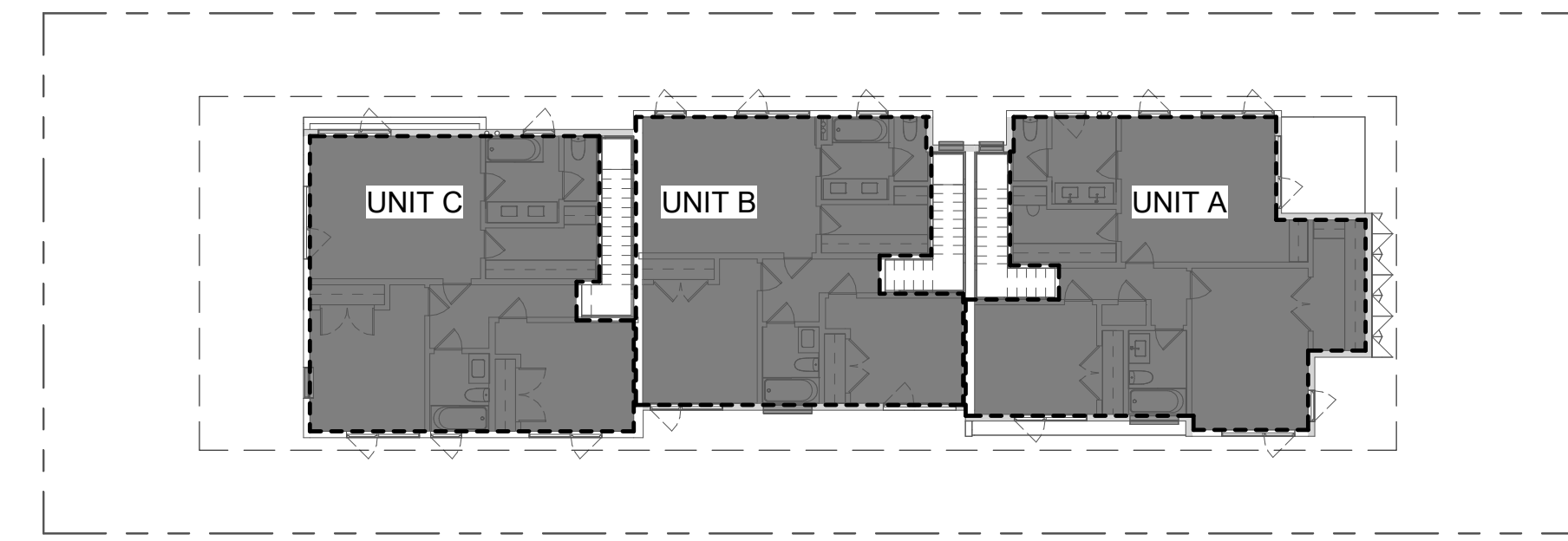
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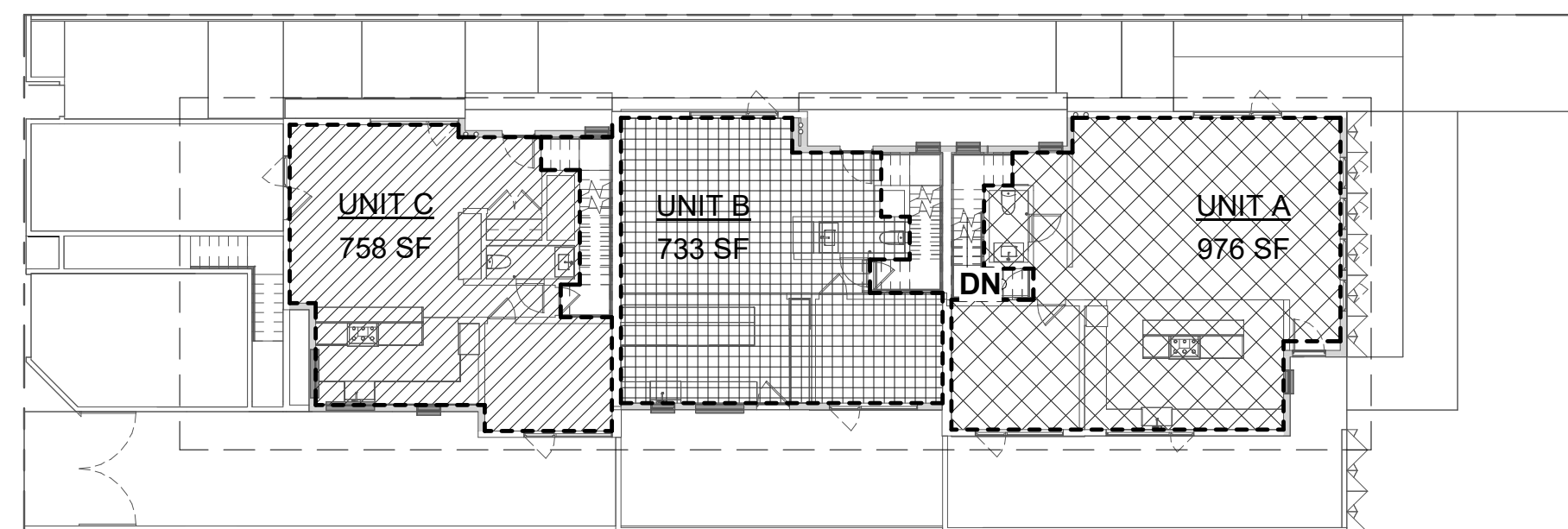
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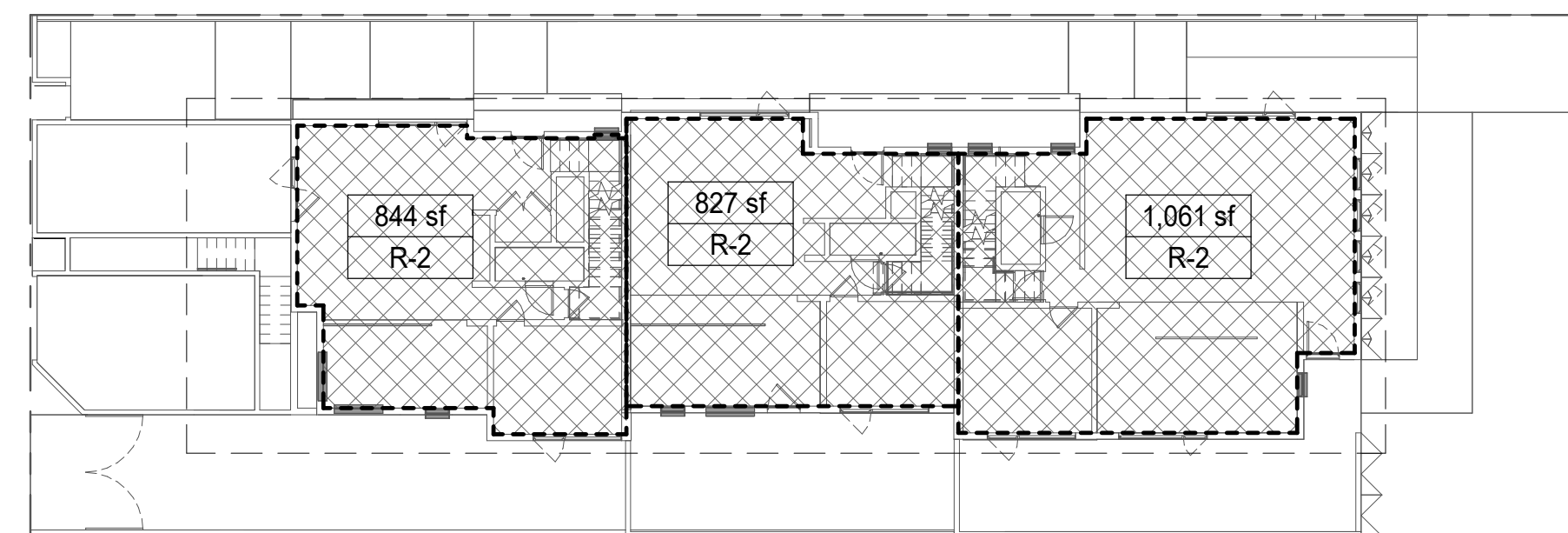
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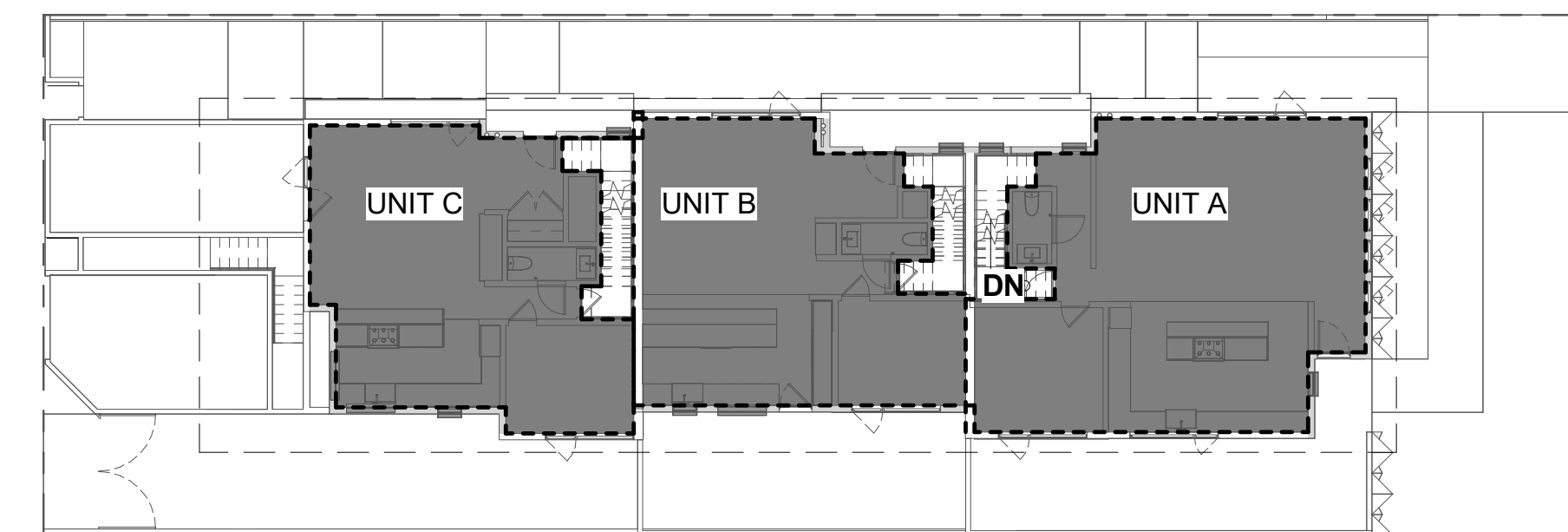
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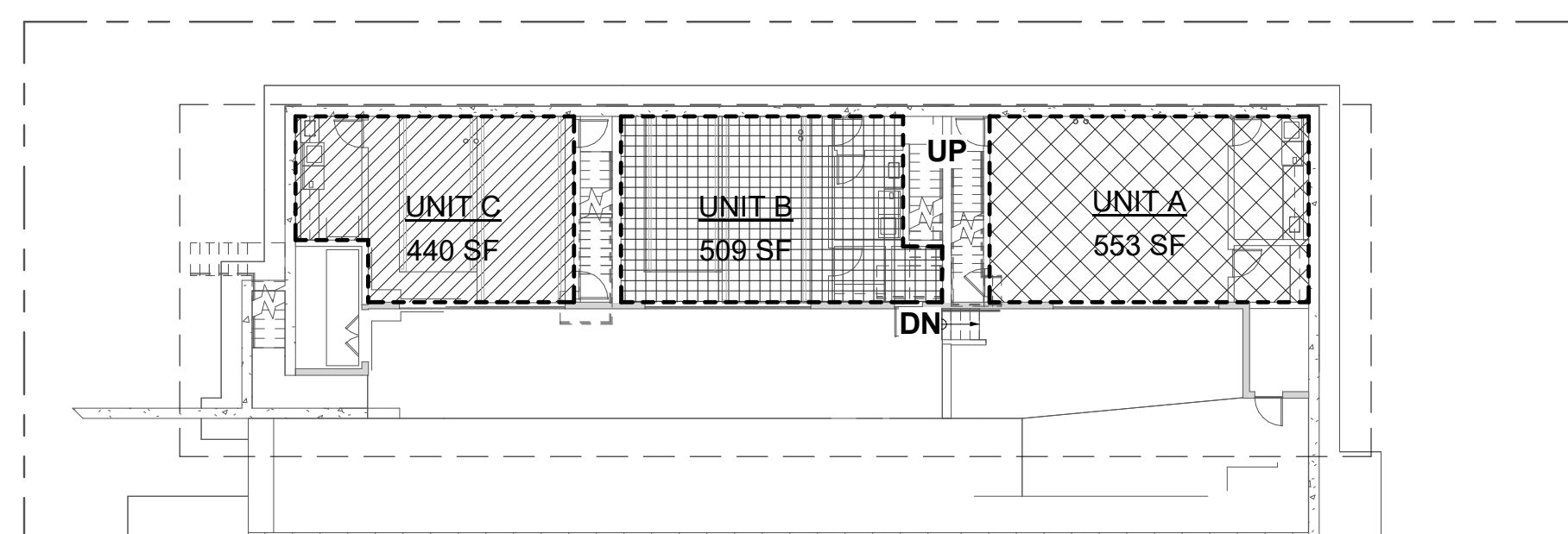
FIRST FLOOR



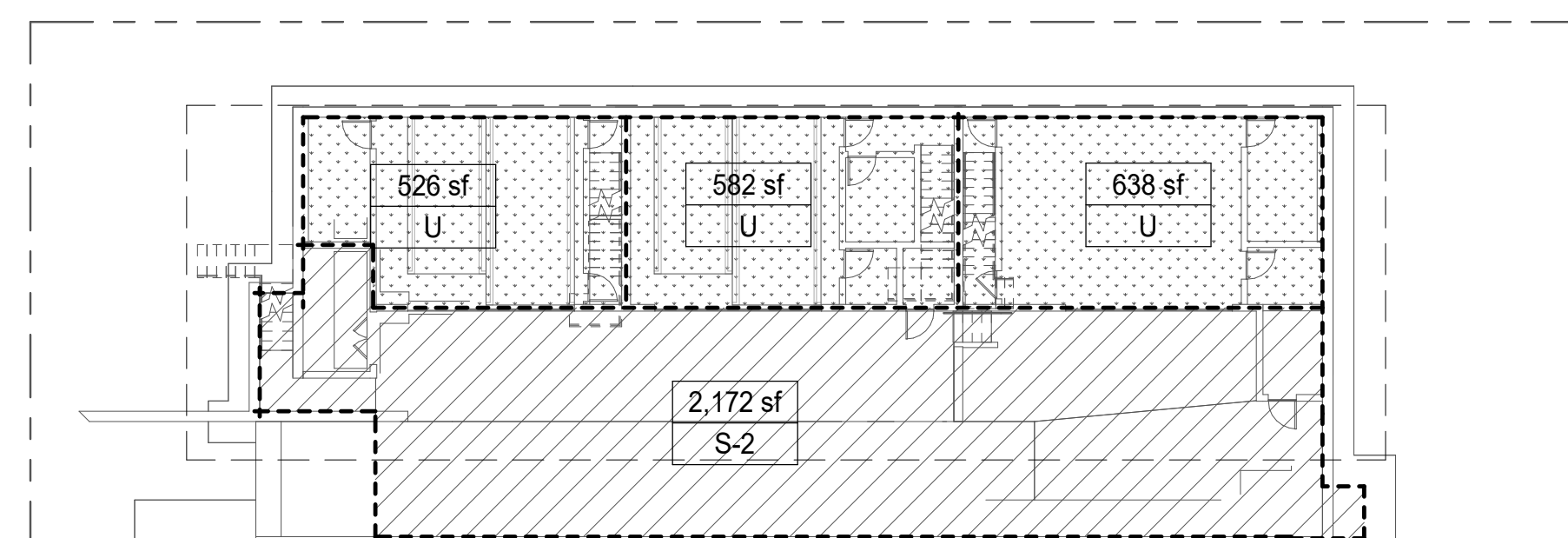
FIRST FLOOR



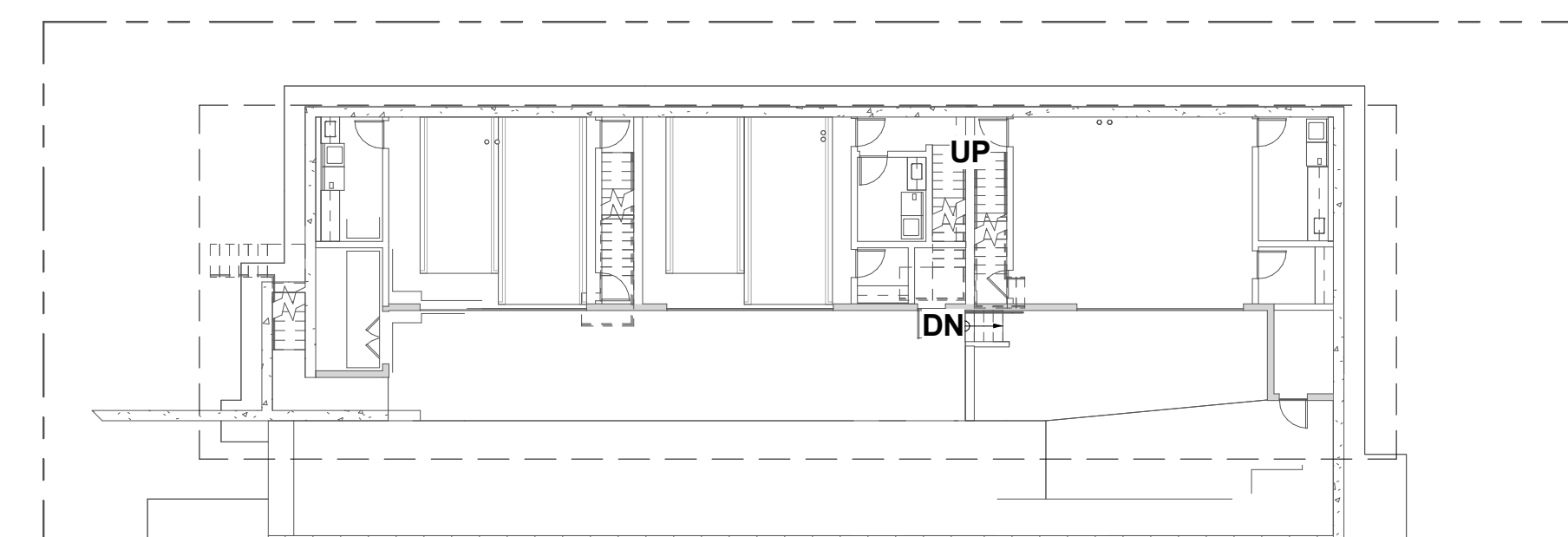
FIRST FLOOR



BASEMENT FLOOR

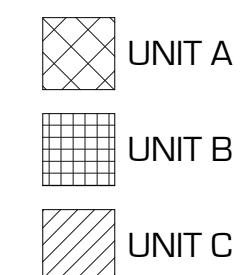


BASEMENT FLOOR



BASEMENT FLOOR

UNIT AREA BREAKDOWN

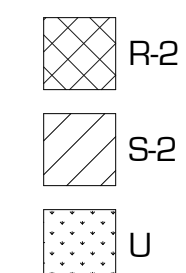


UNIT AREA BREAKDOWN

UNIT A		UNIT B		UNIT C	
LEVEL 2	899 SF	LEVEL 2	784 SF	LEVEL 2	820 SF
LEVEL 1	976 SF	LEVEL 1	733 SF	LEVEL 1	758 SF
BASEMENT	553 SF	BASEMENT	509 SF	BASEMENT	440 SF
	2428 SF		2026 SF		2018 SF

- BUILDING AREA:**
AREA CONFINED WITHIN EXTERIOR WALLS, PLUS USABLE AREA WITHIN HORIZONTAL PROJECTION OF FLOOR ABOVE AREAS EXCLUDING:
- EXTERIOR WALLS
 - SHAFTS AND MECHANICAL ROOMS
 - STAIRS AND STAIR SHAFTS

OCCUPANCY TYPE



BUILDING AREA PER BUILDING CODE:

OCCUPANCY	AREA
1ST FLOOR - UNIT A/B/C	
R-2	2732 SF
	2732 SF
2ND FLOOR - UNIT A/B/C	
R-2	2728 SF
	2728 SF
TOTAL	5459 SF

BASEMENT OCCUPANCY AREA:
* EXCLUDED FROM TOTAL BUILDING AREA

OCCUPANCY	AREA
BASEMENT FLOOR	
S-2	2172 SF
U	1746 SF
	3918 SF

BUILDING FLOOR AREA: (BUILDING CODE)

THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.

506.1.3 BASEMENTS
BASEMENTS NEED NOT BE INCLUDED IN THE TOTAL ALLOWABLE FLOOR AREA OF A BUILDING PROVIDED THE TOTAL AREA OF SUCH BASEMENTS DOES NOT EXCEED THE AREA PERMITTED FOR A ONE-STORY ABOVE GRADE PLANE BUILDING.

BUILDING PER ZONING CODE:(BASEMENT EXEMPT)

BASEMENT FLOOR	EXEMPT
FIRST FLOOR	2516 SF
SECOND FLOOR	2522 SF
TOTAL	5038 SF

BUILDING FLOOR AREA: (ZONING CODE)

- INCLUDED IN FLOOR AREA. FLOOR AREA IS DEEMED TO INCLUDE:
- THE ACTUAL FLOOR SPACE OF ALL HABITABLE ROOMS ON ALL LEVELS AND MEZZANINES, INTERIOR BALCONIES, LOFTS, AND CLOSETS;
 - RESTROOMS, LOUNGES, LOBBIES, KITCHENS, STORAGE AREAS, AND INTERIOR HALLWAYS AND CORRIDORS;
 - PORTIONS OF BASEMENTS THAT MEET BUILDING CODE REQUIREMENTS FOR HABITABLE SPACE;
 - ENCLOSED AND ROOFED PORCHES AND BALCONIES;
 - INTERIOR COURTYARDS, ATRIA, PASEOS, WALKWAYS AND CORRIDORS THAT ARE FULLY ENCLOSED;
 - STORAGE AND EQUIPMENT SPACES THAT ARE ROOFED AND ENCLOSED ON ALL SIDES; AND
 - COVERED PARKING AT OR ABOVE GRADE.

EXCLUDED FROM FLOOR AREA. FLOOR AREA DOES NOT INCLUDE:

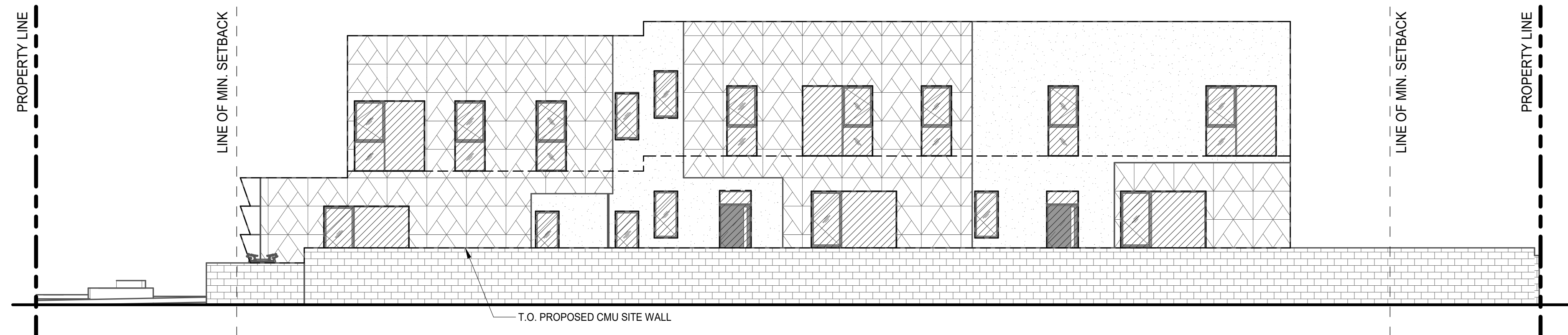
- STAIRWAYS AND STAIRWELLS;
- ELEVATORS, ELEVATOR EQUIPMENT ROOMS, AND ELEVATOR SHAFTS;
- RAMPS TO A SUBTERRANEAN OR SEMI-SUBTERRANEAN PARKING STRUCTURE OR RAMPS BETWEEN FLOORS OF A PARKING STRUCTURE PROVIDED THE RAMP DOES NOT ACCOMMODATE PARKING;
- LOADING SPACES AND DOCKS USED EXCLUSIVELY FOR LOADING AND UNLOADING AS REQUIRED BY SECTION 9.28.080;
- UNENCLOSED DECKS, BALCONIES, PORCHES, AND PLATFORMS NOT USED FOR COMMERCIAL OR RESTAURANT ACTIVITY;
- COVERED AND UNCOVERED COURTYARDS, ARCADES, ATRIA, PASEOS, WALKWAYS, AND CORRIDORS LOCATED AT OR NEAR THE STREET LEVEL AND ARE ACCESSIBLE TO THE GENERAL PUBLIC PROVIDED THEY ARE NOT USED AS SALES, DISPLAY, STORAGE, SERVICE, OR PRODUCTION AREAS;
- PARKING AREAS LOCATED BELOW FINISHED GRADE OR FINISHED FLOOR OF HABITABLE SPACE WHERE THE VERTICAL DISTANCE BETWEEN FINISHED GRADE AND FINISHED FLOOR IS 5 FEET OR LESS;
- SEMI-SUBTERRANEAN PARKING AREAS THAT MEET THE FOLLOWING CRITERIA:
 - THE PARKING AREA IS LOCATED BELOW FINISHED GRADE ALONG A MINIMUM OF ONE STREET FRONTAGE;
 - THE PORTIONS OF THE PARKING AREA LOCATED ABOVE FINISHED GRADE ARE A RESULT OF THE SITE'S SLOPE AND CANNOT FEASIBLY BE FULLY SUBTERRANEAN DUE TO GEOLOGICAL OR PHYSICAL SITE CONSTRAINTS; AND
 - THE FACADES OF ANY OF THE VISIBLE PORTIONS OF THE PARKING AREA LOCATED ABOVE FINISHED GRADE ARE APPROPRIATELY TREATED AND LANDSCAPED.
- MECHANICAL EQUIPMENT ROOMS, ELECTRICAL ROOMS, TELECOMMUNICATION EQUIPMENT ROOMS, AND SIMILAR SPACE LOCATED BELOW GRADE;
- ENCLOSURES CONSTRUCTED PURSUANT TO SECTION 9.31.060, AUTOMOBILE REPAIR, MAJOR AND MINOR, FOR OUTDOOR HOISTS IN EXISTENCE ON THE ADOPTION OF ORDINANCE NUMBER 1452 (CCS); AND
- ATTICS.

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

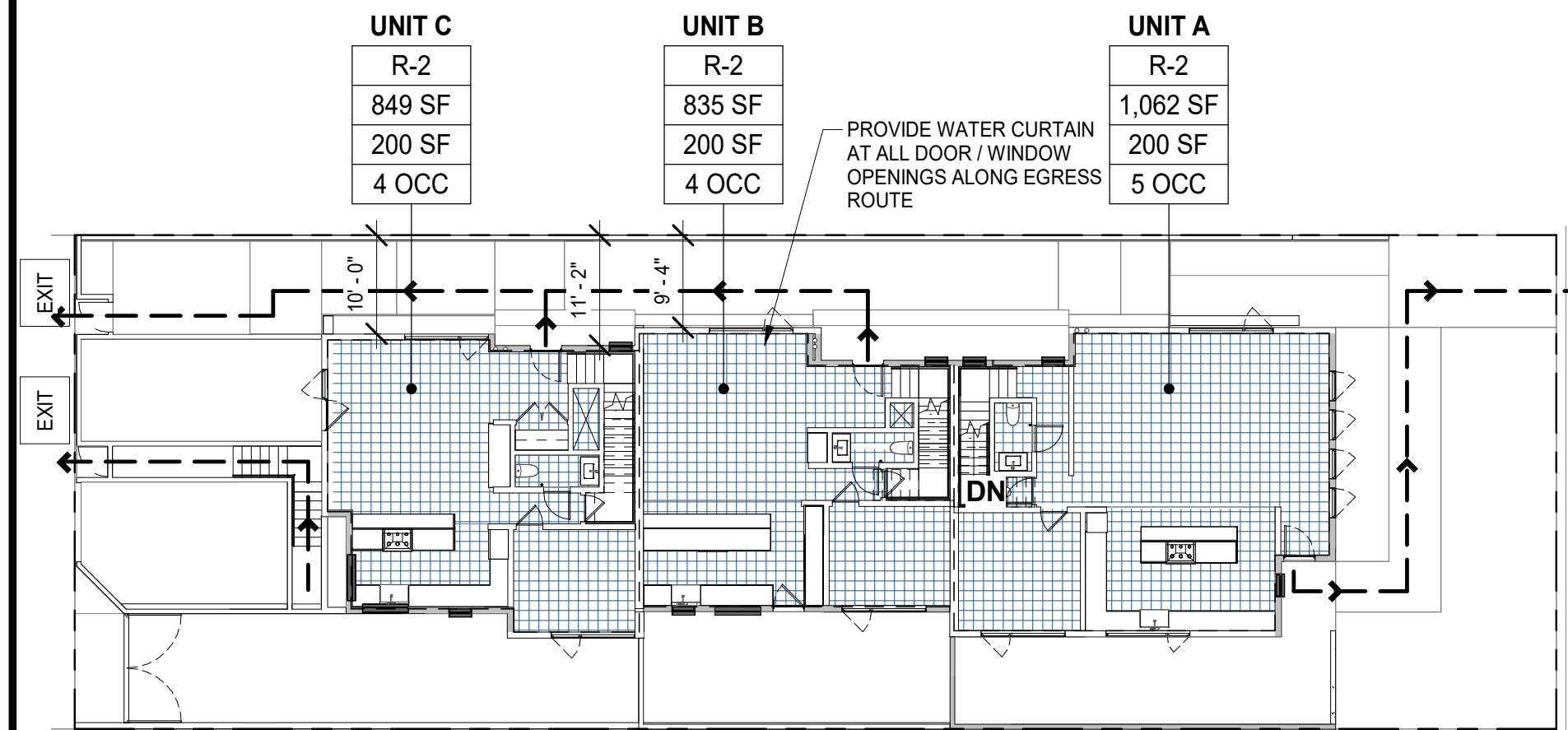


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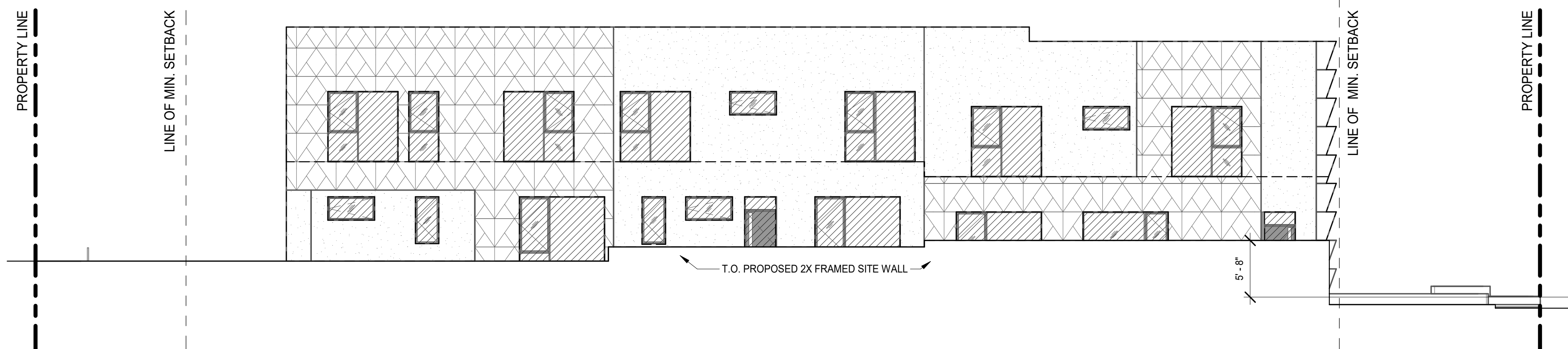


ALLOWABLE OPENINGS - SOUTH

- 2ND FLOOR CEILING-A 19' - 10"
- 2ND FLOOR - UNIT B/C 13' - 4"
- 1ST FLOOR CEILING - A 9' - 0"
- 1ST FLOOR - UNIT B/C 2' - 0"
- 1ST FLOOR - UNIT A 0' - 6"

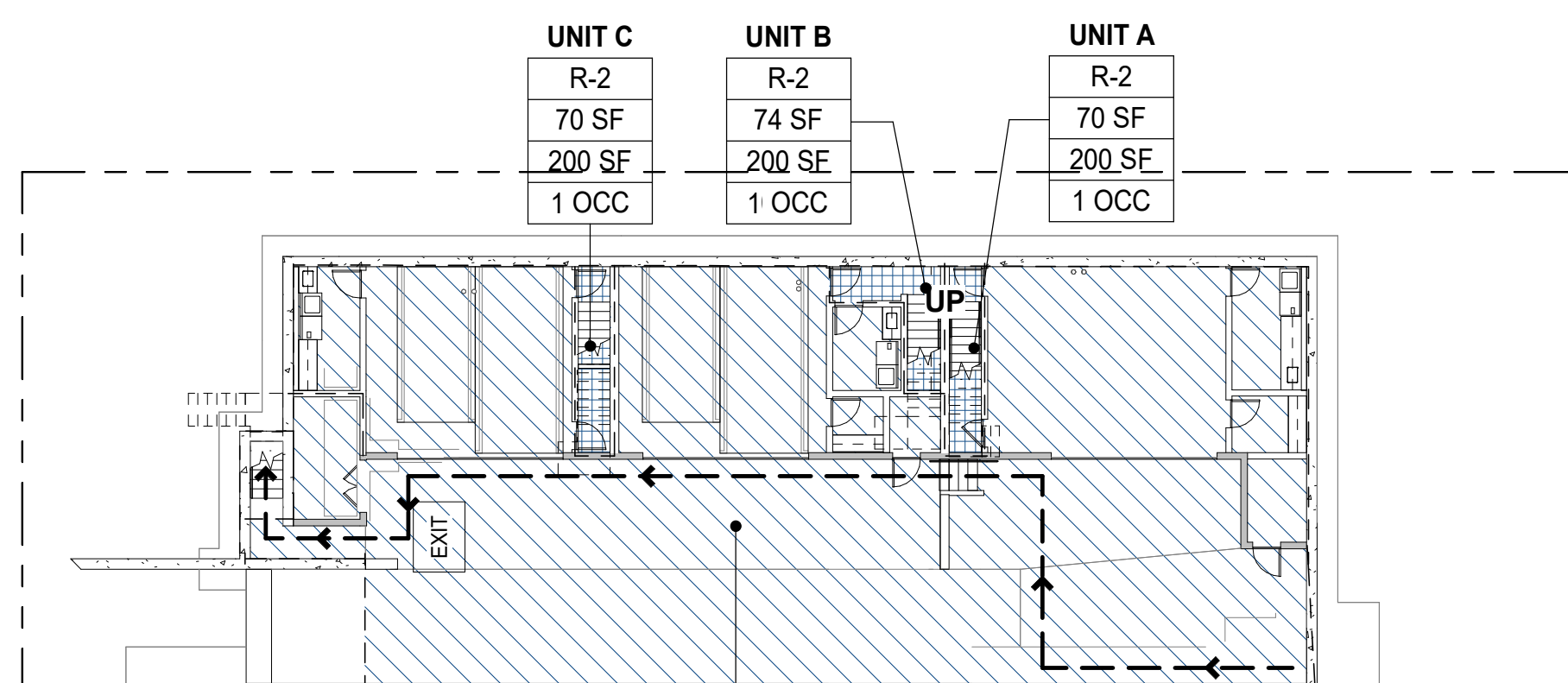


FIRST FLOOR

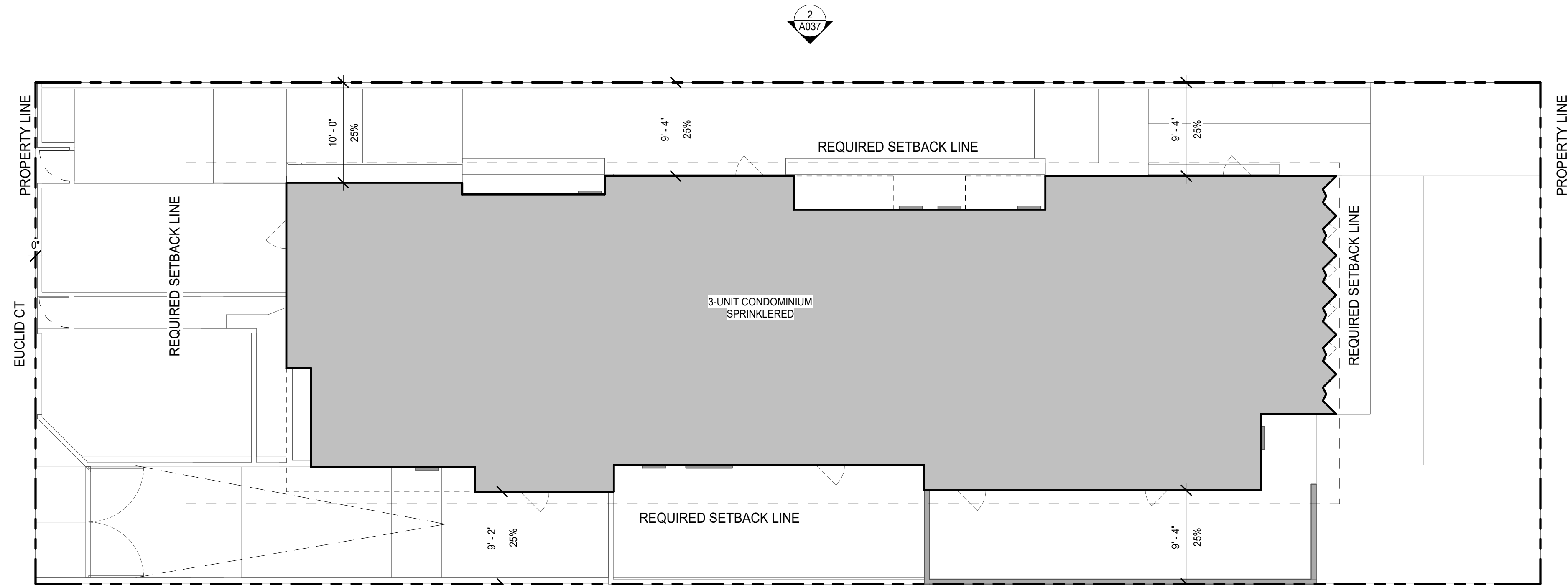


ALLOWABLE OPENINGS - NORTH

- 2ND FLOOR CEILING-A 19' - 10"
- 2ND FLOOR - UNIT B/C 13' - 4"
- 1ST FLOOR CEILING - A 9' - 0"
- 1ST FLOOR - UNIT B/C 2' - 0"
- 1ST FLOOR - UNIT A 0' - 6"



BASEMENT FLOOR



FIRE SEPARATION DIAGRAM

GARAGE			
S-2	3,732 SF	200 SF	19 OCC

BUILDING AREA: (OCCUPANCY)

BUILDING AREA PER BUILDING CODE - OCCUPANCY			
LEVEL	AREA	FACTOR	OCCUPANTS
GARAGE			
BASEMENT FLOOR	3732 SF	200 SF	19
UNIT A			
BASEMENT FLOOR	70 SF	200 SF	1
1ST FLOOR - UNIT B/C	1062 SF	200 SF	5
2ND FLOOR - UNIT B/C	974 SF	200 SF	5
UNIT B			
BASEMENT FLOOR	74 SF	200 SF	1
1ST FLOOR - UNIT B/C	835 SF	200 SF	4
2ND FLOOR - UNIT B/C	869 SF	200 SF	4
UNIT C			
BASEMENT FLOOR	70 SF	200 SF	1
1ST FLOOR - UNIT B/C	849 SF	200 SF	4
2ND FLOOR - UNIT B/C	900 SF	200 SF	5
TOTAL OCCUPANTS			49.

BUILDING FLOOR AREA: (BUILDING CODE)

THE FLOOR AREA WITHIN THE INSIDE PERIMETER OF THE EXTERIOR WALLS OF THE BUILDING UNDER CONSIDERATION, EXCLUSIVE OF VENT SHAFTS AND COURTS, WITHOUT DEDUCTION FOR CORRIDORS, STAIRWAYS, RAMPS, CLOSETS, THE THICKNESS OF INTERIOR WALLS, WALLS SHALL BE THE USABLE AREA UNDER THE HORIZONTAL PROJECTION OF THE ROOF OR FLOOR ABOVE. THE GROSS FLOOR AREA SHALL NOT INCLUDE SHAFTS WITH NO OPENINGS OR INTERIOR COURTS.

ALLOWABLE OPENING CALCULATIONS: (CBC 705.8)

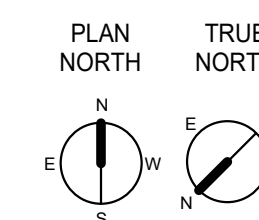
PROJECT SOUTH ELEVATION:
 ALLOWABLE OPENING PERCENTAGE: 25% (UNPROTECTED OPENINGS, SPRINKLERED BUILDING)
 FIRST FLOOR FACADE AREA: 897 SF
 FIRST FLOOR OPENING AREA: 206 SF
 PROPOSED OPENING PERCENTAGE: 23%
 SECOND FLOOR FACADE AREA: 1263 SF
 SECOND FLOOR OPENING AREA: 274 SF
 PROPOSED OPENING PERCENTAGE: 22%

PROJECT NORTH ELEVATION:
 ALLOWABLE OPENING PERCENTAGE: 25% (UNPROTECTED OPENINGS, SPRINKLERED BUILDING)
 FIRST FLOOR FACADE AREA: 843 SF
 FIRST FLOOR OPENING AREA: 213 SF
 PROPOSED OPENING PERCENTAGE: 25%
 SECOND FLOOR FACADE AREA: 1416 SF
 SECOND FLOOR OPENING AREA: 337 SF
 PROPOSED OPENING PERCENTAGE: 24%

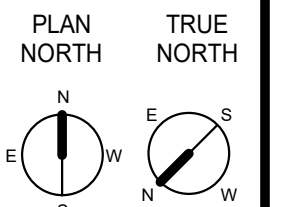
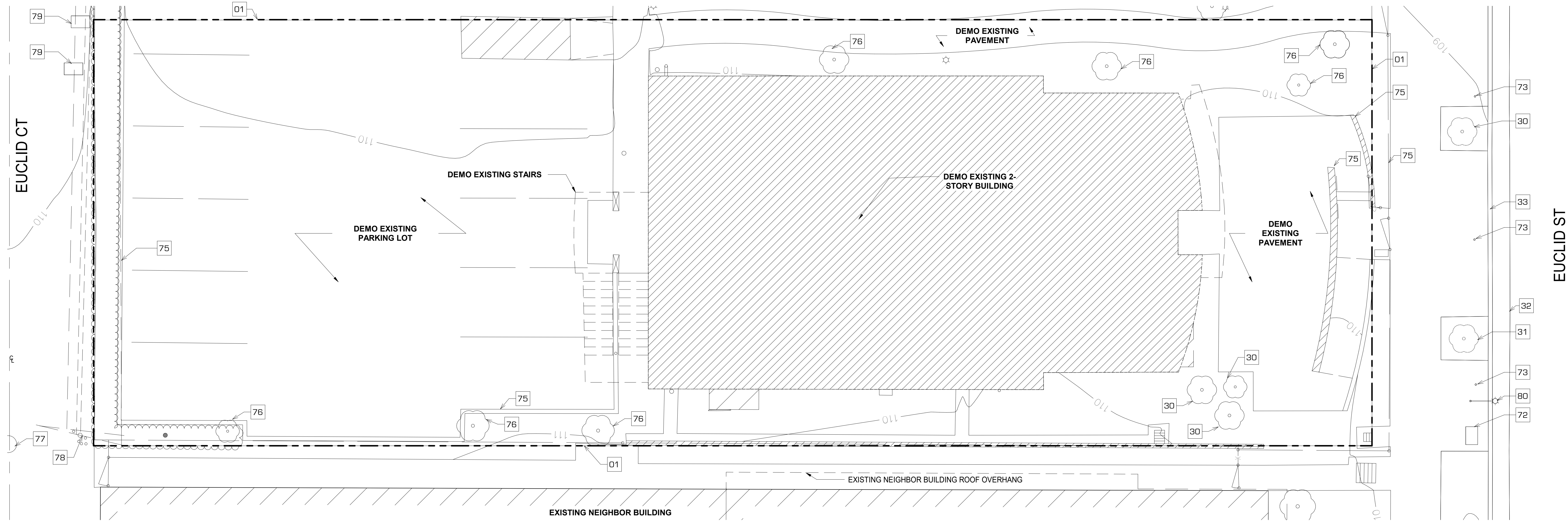
ALLOWABLE OPENING CALCULATIONS: (CBC 705.8)

PROJECT WEST ELEVATION:
 ALLOWABLE OPENING PERCENTAGE: 25'-0" FIRE SEPARATION DISTANCE
 NO LIMIT

PROJECT EAST ELEVATION:
 ALLOWABLE OPENING PERCENTAGE: 51'-6" FIRE SEPARATION DISTANCE
 NO LIMIT



1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



SITE DEMO PLAN

SCALE 3/16" = 1'-0" 1

CODE NOTES:

- FOR DOOR AND WINDOW SCHEDULE SEE A11.00 & A11.20
- ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
- EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD.
- THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING. GLAZING IN: (2406)
- AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. (R314)
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
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- OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7
- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- REFUSE LOCATION CAN ONLY HAVE 95G CARTS AND AT NO POINT CAN THE OWNER(S) REQUEST ANYTHING LARGER THAN THIS. TENANT/OWNER IS RESPONSIBLE FOR PLACING THE 95G CARTS IN THE ALLEY FOR SERVICE AND BACK INTO THE PROPERTY AFTER SERVICE PER SMIMC.

DEMO NOTES:

- INSPECT HOUSE FOR ASBESTOS BEFORE START DEMOLITION
- REMOVE (E) FLOOR FINISH SURFACES AS REQUIRED.
- REMOVE ALL EXTERIOR SIDING AND ROOFING MATERIAL
- REMOVE ALL WINDOWS AND WINDOW FRAMES.
- REMOVE ALL BATHROOM FIXTURES AND SAVE.
- REMOVE PIPES AND VENTS AS REQUIRED.
- REMOVE ALL EXTERIOR AND INTERIOR LIGHT FIXTURES. PATCH AND REPAIR SURFACE AS REQUIRED.
- OUTLETS, SWITCHES AND ELECTRICAL BOXES TO BE REMOVED OR RELOCATED AS REQUIRED.
- REMOVE ALL CBINETS.
- ALL EXISTING CONDITIONS SHALL BE VERIFIED PRIOR TO STARTING DEMOLITION OR NEW CONSTRUCTION.
- OWNER RESERVES SALVAGE RIGHTS TO ALL DEMOLITION INCLUDING ALL EQUIPMENT, LIGHTING FIXTURES, MILLWORK, DECORATIVE OBJECTS, FURNITURE, CONTROLS, DOORS AND HARDWARE, POOL EQUIPMENT, AND ANY ITEMS OF OBVIOUS VALUE.
- COORDINATE ALL DEMOLITION ACTIVITY WITH THE OWNER. DELIVER ALL SALVAGED ITEMS TO A LOCATION SPECIFIED BY THE OWNER. TBD.
- ALL DEMOLITION AND SHORING TO BE COORDINATED W/ STRUCTURAL ENGINEER TO ENSURE THE BUILDING STRUCTURAL INTEGRITY DURING DEMOLITION AND CONSTRUCTION.
- DEMOLISH FLOORS AND WALLS AS REQUIRED TO ACCOMMODATE NEW FRAMING AND STRUCTURE.
- REMOVE EXISTING ROOFING MATERIAL
- DEMOLISH WALLS AS REQ'D FOR NEW WINDOWS AND DOORS.
- GC TO COORDINATE TEMPORARY POWER / POWER POLE PRIOR TO START OF DEMOLITION.
- COORDINATE ALL DEMOLITION FOR FOUNDATIONS AND NEW STRUCTURE W/ STRUCT. ENG. PRIOR TO START OF DEMOLITION. SEE STRUCTURAL DRAWINGS FOR DETAILS.
- ONLY A CITY OF LOS ANGELES CERTIFIED HAULER WILL BE USED FOR HAULING OF CONSTRUCTION WASTE. SEE A011 FORM GRN 14 NOTE 9

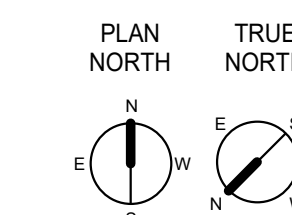
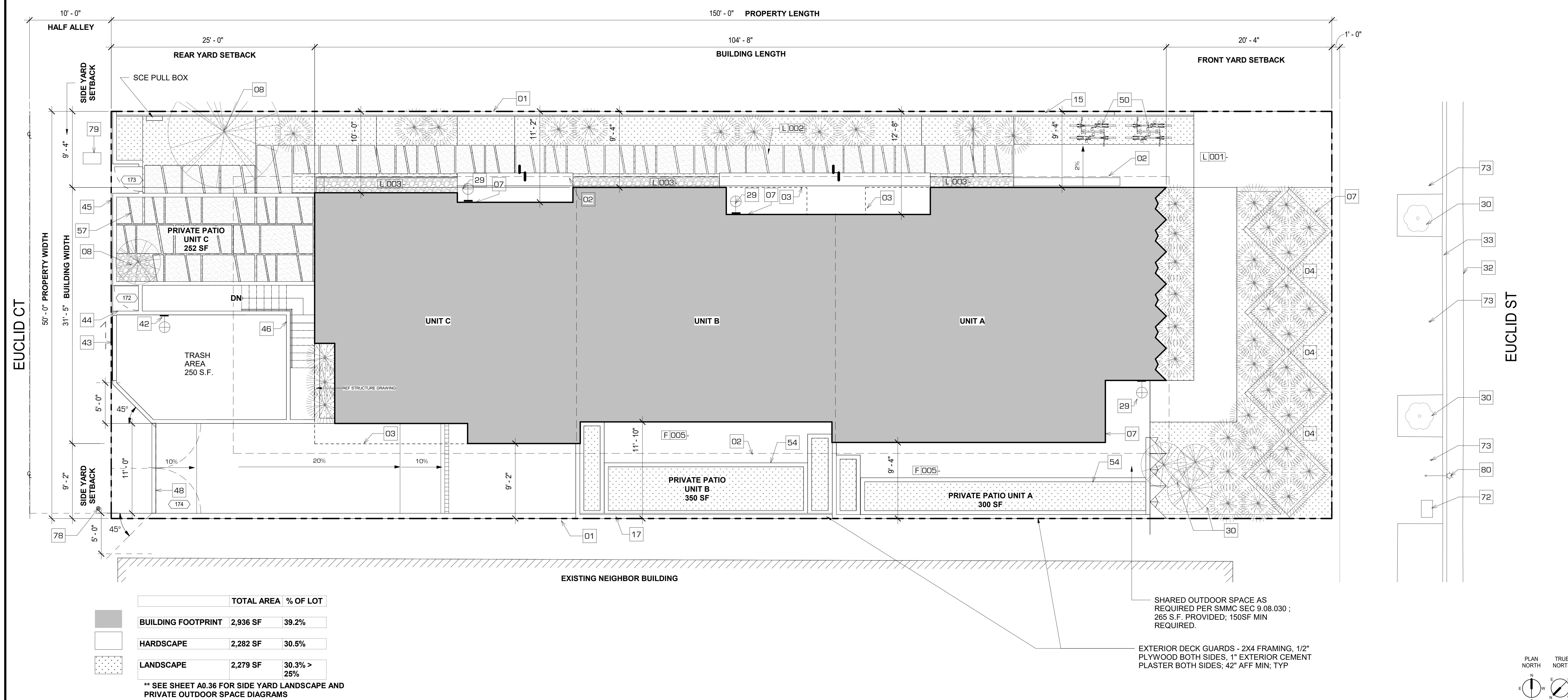
KEYNOTES

- 01 PROPERTY LINE
- 30 (E) TREE TO REMAIN
- 31 (E) FIRE HYDRANT
- 32 (E) STREET GUTTER
- 33 (E) CONCRETE CURB
- 72 (E) YARD BOX STREET LIGHT
- 73 (E) PARKING METER
- 75 DEMO (E) FENCE / WALL
- 76 (E) REMOVE TREE
- 77 (E) SEWER MANHOLE
- 78 (E) POWER POLE
- 79 (E) WATER METER
- 80 (E) STREET LIGHT

FINISH LEGEND

LEGEND

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



SITE PLAN

CODE NOTES:

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KEYNOTES:

- PROPERTY LINE
- LINE OF REQUIRED SETBACK
- LINE OF BUILDING ABOVE
- (N) RAISED CONCRETE PLANTER; REF LANDSCAPE
- UNIT ADDRESS IDENTIFICATION
- (N) TREE; SEE LANDSCAPE PLANS
- GREEN / SCREEN WALL; COORD W/ LANDSCAPE
- STUCCO FENCE WALL
- EXTERIOR SCONCES PER SPEC.
- (E) TREE TO REMAIN
- (E) STREET GUTTER
- (E) CONCRETE CURB
- LIGHTING ON MOTION SENSORS
- ROLLING METAL GATE; 6' HIGH; IN RECESSED TRACK
- 10 POINT KEY PAD FOR GATE ACCESS
- CONCRETE BLOCK WALL WITH STUCCO FINISH
- WALL PROTECTION; 1/4 INCH DIAMOND PLATE PROTECTING ALL INTERIOR WALLS FROM 3FT THROUGHOUT 6FT.
- IN-SWING MOTORIZED DRIVEWAY GATE (11' W, 4' H) - SMMC 9.24.030.Q
- SHORT-TERM BICYCLE RACK - GROUND CONTROL SYSTEMS - HOOP RUNNER
- (N) FREE-STANDING PLANTER; REF LANDSCAPE
- PERMEABLE PAVERS, REFER TO CIVIL
- (E) YARD BOX STREET LIGHT
- (E) PARKING METER
- (E) POWER POLE
- (E) WATER METER
- (E) STREET LIGHT

FINISH LEGEND

SITE MATERIALS

- L 001: UNCOVERED CONCRETE, BROOM FINISH
- L 002: PERMEABLE PAVING
- L 003: GRAVEL PER SPEC

FLOORS

- F 001: WOOD FLOOR PER SPEC.
- F 002: CONCRETE FLOOR PER SPEC.
- F 003: TILE FLOOR PER SPEC.
- F 004: STONE FLOOR PER SPEC.
- F 005: COMPOSITE DECK PER SPEC.

EXTERIOR WALLS

- E 001: STUCCO PER SPEC
- E 002: PORCELAIN TILE PER SPEC
- E 003: CONCRETE BLOCK PER SPEC
- E 004: BOARD FORMED CONCRETE PER SPEC
- E 005: G.F.R.C. PER SPEC

INTERIOR FINISHES

- I 001: PAINTED GYPSUM BOARD PER SPEC
- I 002: WALL TILE PER SPEC
- I 004: BASE PER SPEC
- I 005: STONE PER SPEC
- I 006: STONE TILE PER SPEC
- I 007: CONCRETE PER SPEC

ROOF FINISHES

- R 001: PAINTED GYPSUM BOARD PER SPEC

LEGEND

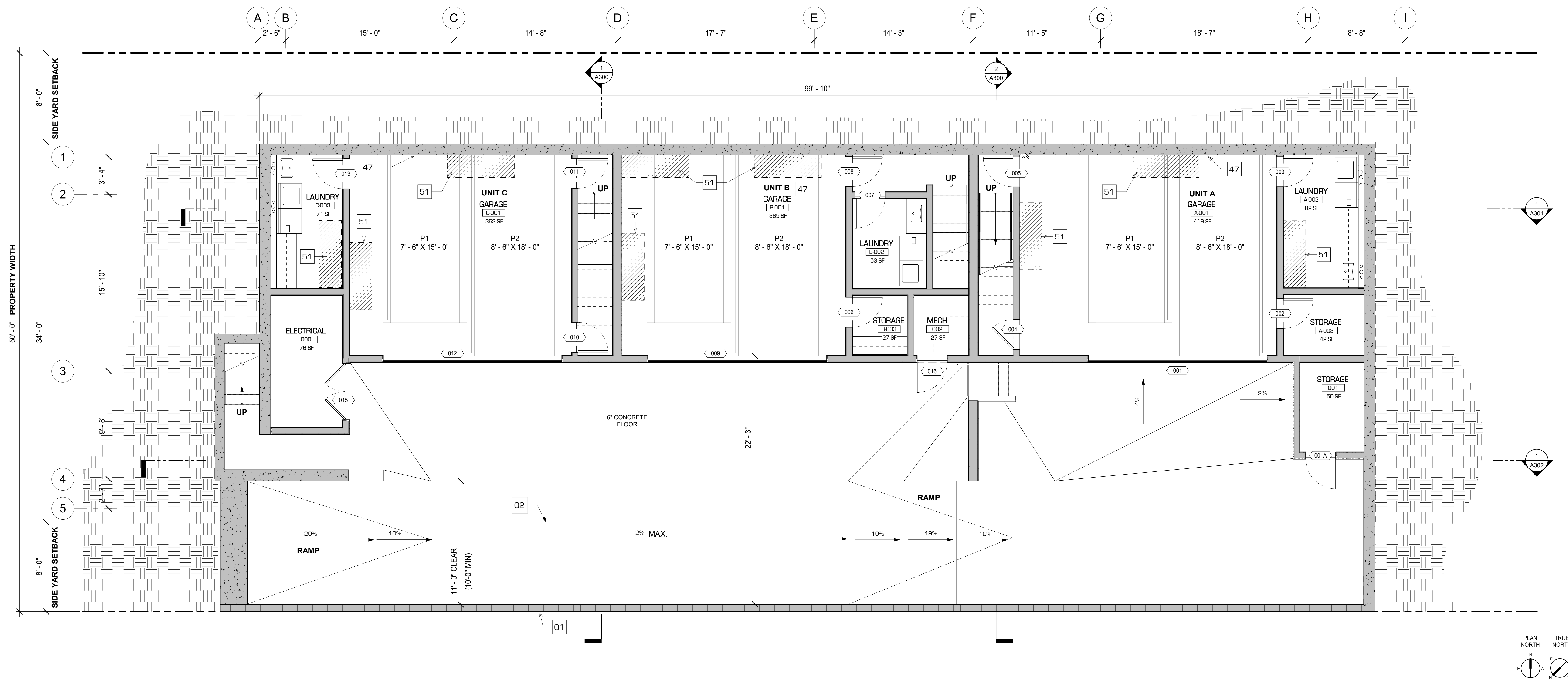
- (N) WALL
- (N) DEMISING WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL

- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- WALL TAG, SEE WALL SCHEDULE AND DETAILS
- OPERABLE EGRESS WINDOW: PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQUARE FEET IN THE OPEN POSITION (5 SQ. FT. AT GRADE FLOOR OPENINGS), AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND CLEAR OPENING HEIGHT OF 24 INCHES AND THE BOTTOM OF THE CLEAR OPENING SHALL BE MAXIMUM 44" ABOVE THE FLOOR.
- 2'-0" x 6'-0" LONG-TERM BIKE PARKING

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



BASEMENT FLOOR PLAN

SCALE 1/4" = 1'-0"

CODE NOTES:

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MATERIALS

- SITE MATERIALS**
- L 001: UNCOVERED CONCRETE, BROOM FINISH
 - L 002: PERMEABLE PAVING
 - L 003: GRAVEL PER SPEC
- FLOORS**
- F 001: WOOD FLOOR PER SPEC.
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 - I 005: STONE PER SPEC
 - I 006: STONE TILE PER SPEC
 - I 007: CONCRETE PER SPEC
- ROOF FINISHES**
- R 001: PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

- 01 PROPERTY LINE
- 47 EV CAR CHARGER PER SMMC 8.106.110
- 51 LONG-TERM BICYCLE RACK - SECURE PARKING AREA LOCATED WITHIN EACH UNIT. (1) RACK TO BE MOUNTED ABOVE CAR PARKING AREA IN EACH UNIT.

NOTE: KEYNOTES ARE TYPICAL - ALL MAY NOT OCCUR, TYPICAL.

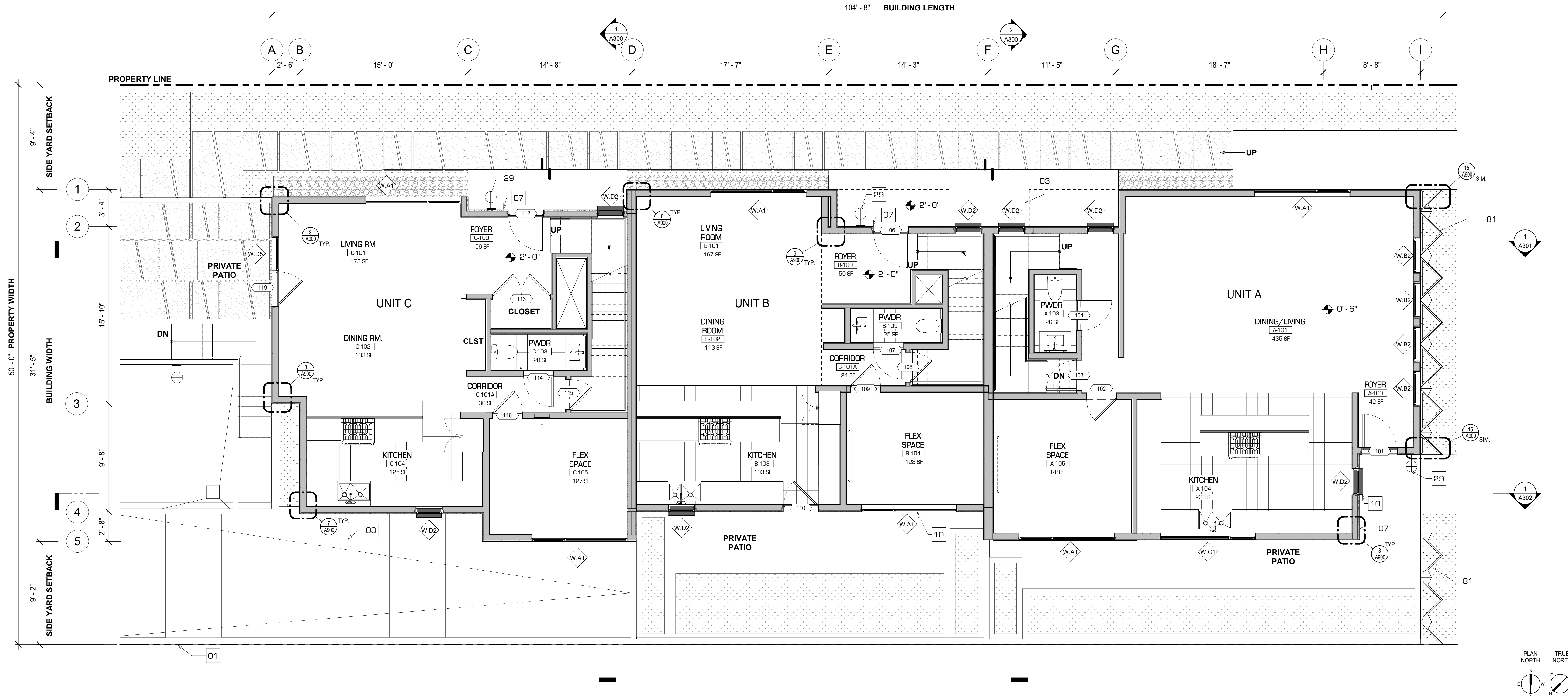
- SEE SHEET A950 FOR FINISHES.
- SEE SHEET A960 FOR DOORS SCHEDULE.
- SEE SHEET A970 FOR WINDOWS SCHEDULE.

LEGEND

- (N) WALL
- (N) DEMISING WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
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- CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
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ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
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FIRST FLOOR SCALE 1/4" = 1'-0" 1

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MATERIALS

- SITE MATERIALS**
- L 001- UNCOVERED CONCRETE, BROOM FINISH
 - L 002- PERMEABLE PAVING
 - L 003- GRAVEL PER SPEC
- FLOORS**
- F 001- WOOD FLOOR PER SPEC.
 - F 002- CONCRETE FLOOR PER SPEC.
 - F 003- TILE FLOOR PER SPEC.
 - F 004- STONE FLOOR PER SPEC.
 - F 005- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- E 001- STUCCO PER SPEC
 - E 002- PORCELAIN TILE PER SPEC
 - E 003- CONCRETE BLOCK PER SPEC
 - E 004- BOARD FORMED CONCRETE PER SPEC
 - E 005- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- I 001- PAINTED GYPSUM BOARD PER SPEC
 - I 002- WALL TILE PER SPEC
 - I 004- BASE PER SPEC
 - I 005- STONE PER SPEC
 - I 006- STONE TILE PER SPEC
 - I 007- CONCRETE PER SPEC
- ROOF FINISHES**
- R 001- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

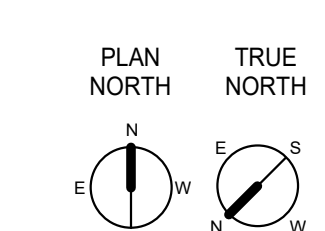
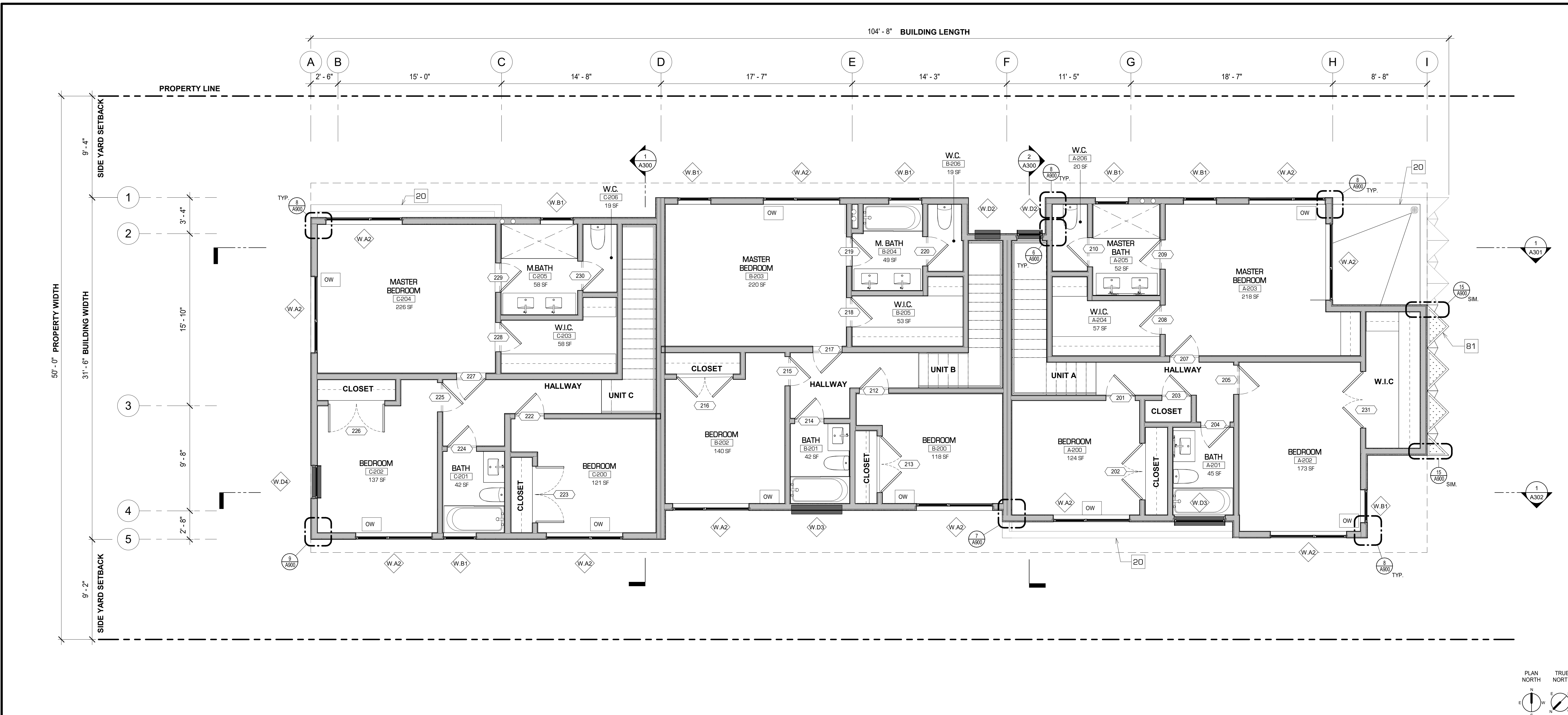
- 01 PROPERTY LINE
- 03 LINE OF BUILDING ABOVE
- 07 UNIT ADDRESS IDENTIFICATION
- 10 BLACK ANODIZED ALUMINUM WINDOW JAMB, SILL AND HEADL. SEE DETAIL
- 29 EXTERIOR SCONES PER SPEC.
- 81 G.F.R.C. VERTICAL GREEN WALL

NOTE: KEYNOTES ARE TYPICAL - ALL MAY NOT OCCUR, TYPICAL.

- SEE SHEET A950 FOR FINISHES,
- SEE SHEET A960 FOR DOORS SCHEDULE.
- SEE SHEET A970 FOR WINDOWS SCHEDULE.

LEGEND

- (N) WALL
- (N) DEMISING WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- SD CEILING MOUNTED SMOKE DETECTOR
- CM CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- WALL TAG, SEE WALL SCHEDULE AND DETAILS
- OPERABLE EGRESS WINDOW: PROVIDE A CLEAR SPACE OPENING OF AT LEAST 5.7 SQUARE FEET IN THE OPEN POSITION (5 SQ. FT. AT GRADE FLOOR OPENINGS), AND A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES AND CLEAR OPENING HEIGHT OF 24 INCHES AND THE BOTTOM OF THE CLEAR OPENING SHALL BE MAXIMUM 44" ABOVE THE FLOOR.
- 2'-0" x 6'-0" LONG-TERM BIKE PARKING



SECOND FLOOR PLAN SCALE 1/4" = 1'-0" 1

CODE NOTES:

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- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
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MATERIALS

SITE MATERIALS

- L 001- UNCOVERED CONCRETE, BROOM FINISH
- L 002- PERMEABLE PAVING
- L 003- GRAVEL PER SPEC

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- E 001- STUCCO PER SPEC
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- I 001- PAINTED GYPSUM BOARD PER SPEC
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- I 005- STONE PER SPEC
- I 006- STONE TILE PER SPEC
- I 007- CONCRETE PER SPEC

ROOF FINISHES

- R 001- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

- 20 LOWER ROOF
- 81 G.F.R.C. VERTICAL GREEN WALL

NOTE: KEYNOTES ARE TYPICAL - ALL MAY NOT OCCUR, TYPICAL.

- SEE SHEET A950 FOR FINISHES.
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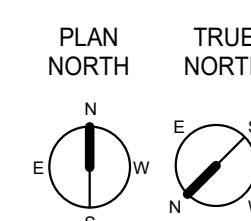
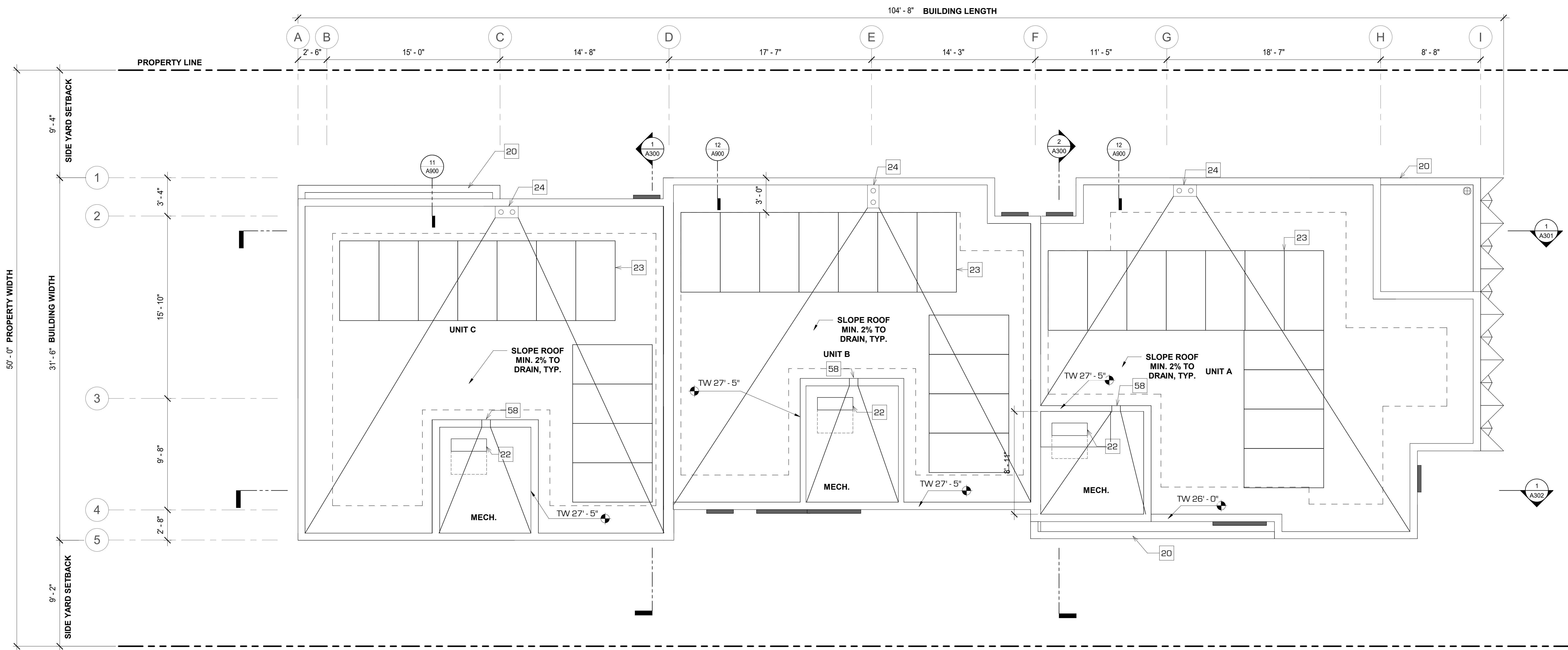
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1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



ROOF PLAN SCALE 1/4" = 1'-0" 1

CODE NOTES:

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MATERIALS

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- ROOF FINISHES**
- R 001- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

- 20 LOWER ROOF
- 22 MECHANICAL UNIT
- 23 PHOTOVOLTAIC PANELS
- 24 ROOF DRAINS W/ OVERFLOW DRAIN (2" HIGH INLET)
- 58 THROUGH WALL SCUPPER

LEGEND

- (N) WALL
- (N) DEMISING WALL
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- SEE SHEET A960 FOR DOORS SCHEDULE.
- SEE SHEET A970 FOR WINDOWS SCHEDULE.

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

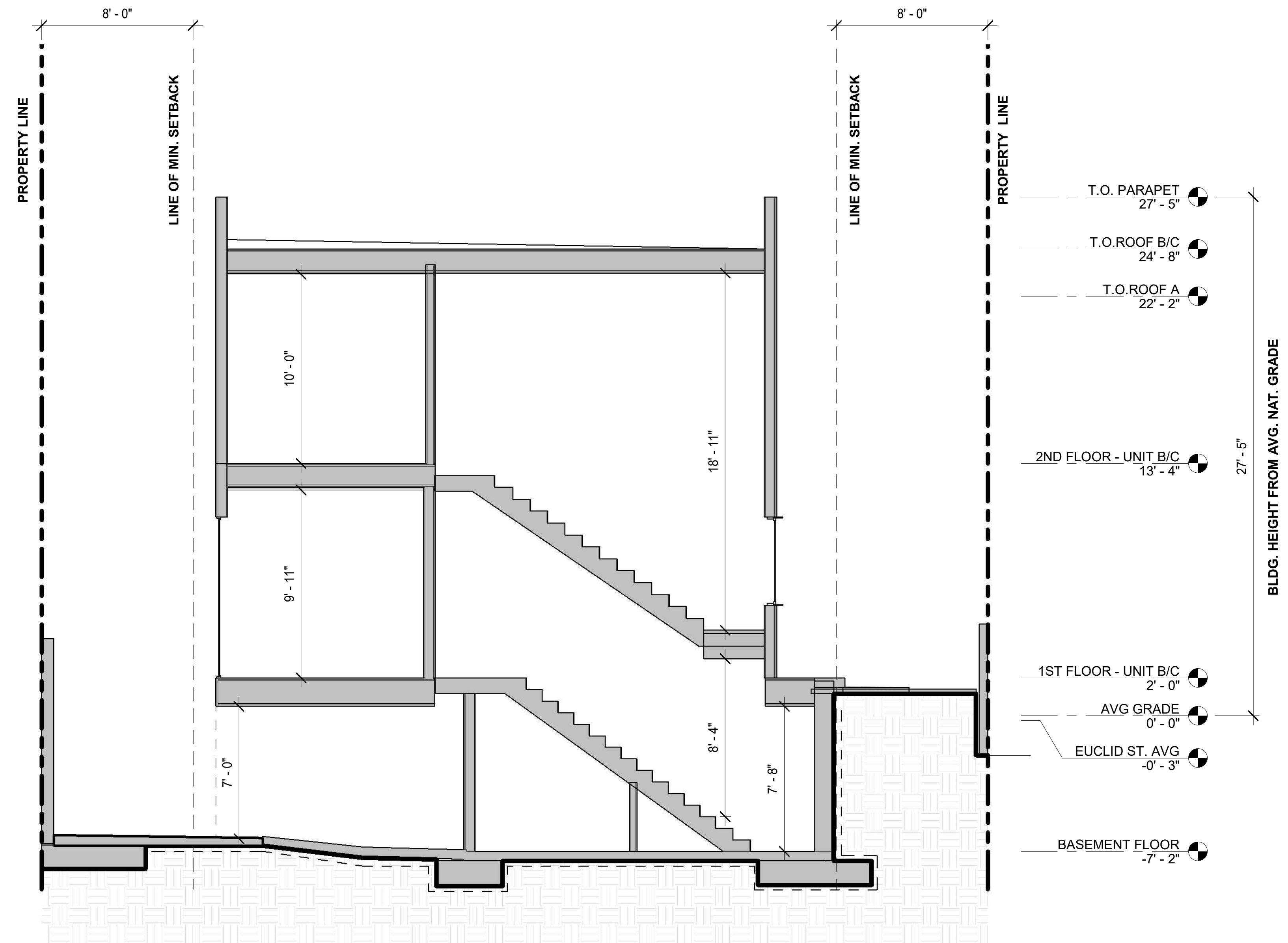
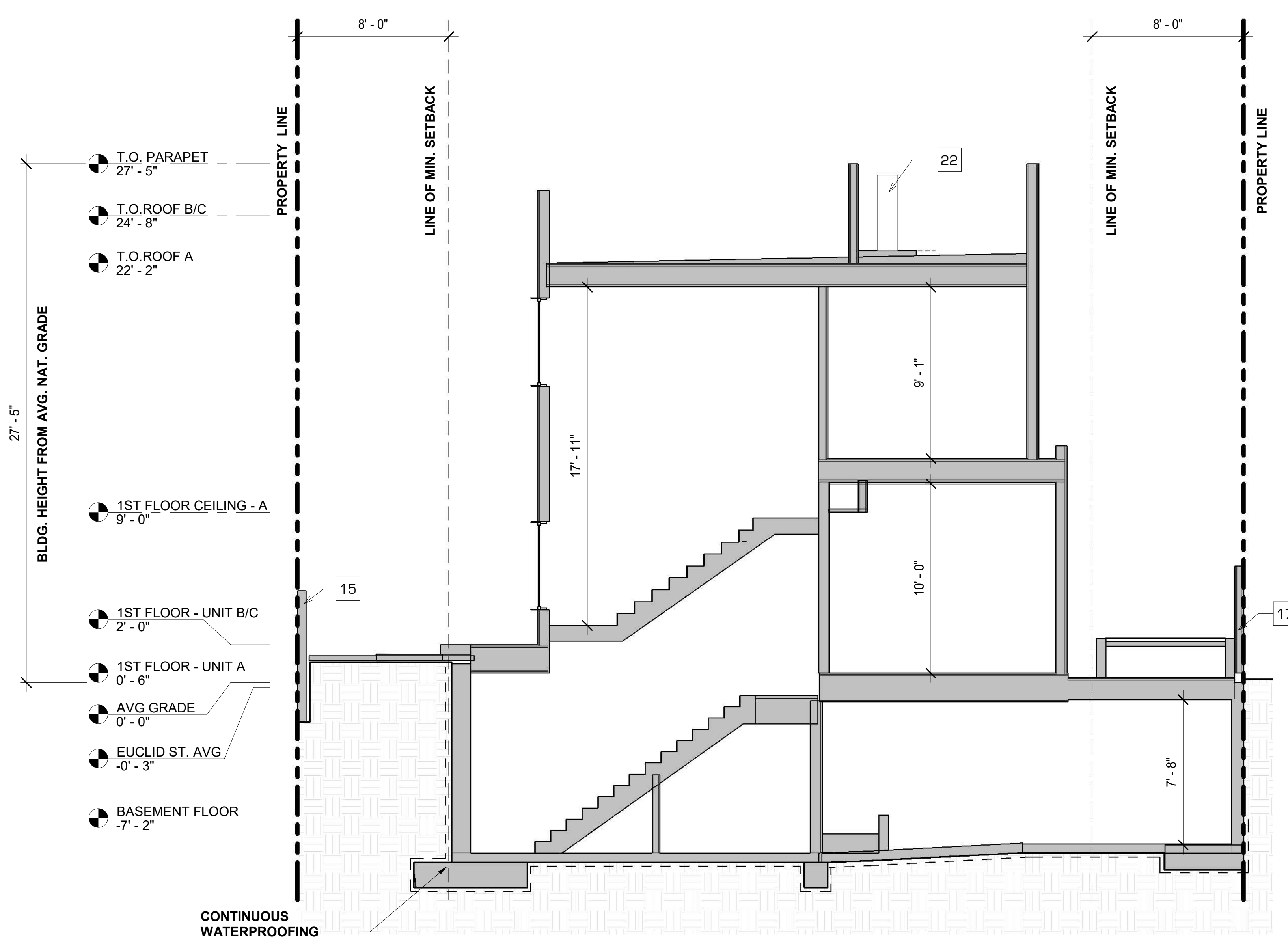
DRAWING TITLE:

ROOF PLAN

SHEET NO:

A230

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



TRANSVERSE SECTION 01

SCALE 1/4" = 1'-0" 2

TRANSVERSE SECTION 02

SCALE 1/4" = 1'-0" 1

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KEYNOTES

- 15 GREEN / SCREEN WALL; COORD W/ LANDSCAPE
- 17 STUCCO FENCE WALL
- 22 MECHANICAL UNIT

LEGEND

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- (SD) CEILING MOUNTED SMOKE DETECTOR
- (CM) CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- (E) EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- (WTR #) WALL TAG, SEE WALL SCHEDULE AND DETAILS
- (E 003) FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
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PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

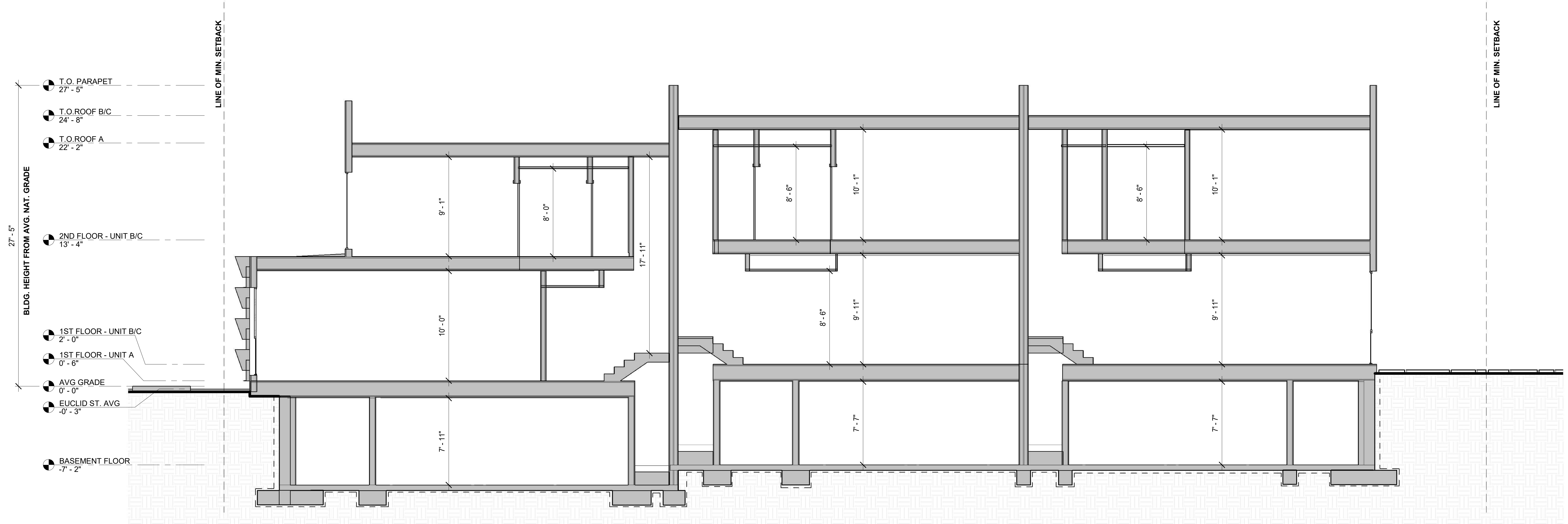
DRAWING TITLE:

SECTIONS

SHEET NO:

A300

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



LONGITUDINAL SECTION_01

SCALE
1/4" = 1'-0"

1

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- AN APPROVED SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL, (R314)
- AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
- BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
- OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
- DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7
- THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
- REFUSE LOCATION CAN ONLY HAVE 95G CARTS AND AT NO POINT CAN THE OWNER(S) REQUEST ANYTHING LARGER THAN THIS. TENANT/OWNER IS RESPONSIBLE FOR PLACING THE 95G CARTS IN THE ALLEY FOR SERVICE AND BACK INTO THE PROPERTY AFTER SERVICE PER SMMC.

MATERIALS

- SITE MATERIALS**
- L 001- UNCOVERED CONCRETE, BROOM FINISH
 - L 002- PERMEABLE PAVING
 - L 003- GRAVEL PER SPEC
- FLOORS**
- F 001- WOOD FLOOR PER SPEC.
 - F 002- CONCRETE FLOOR PER SPEC.
 - F 003- TILE FLOOR PER SPEC.
 - F 004- STONE FLOOR PER SPEC.
 - F 005- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- E 001- STUCCO PER SPEC
 - E 002- PORCELAIN TILE PER SPEC
 - E 003- CONCRETE BLOCK PER SPEC
 - E 004- BOARD FORMED CONCRETE PER SPEC
 - E 005- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- I 001- PAINTED GYPSUM BOARD PER SPEC
 - I 002- WALL TILE PER SPEC
 - I 004- BASE PER SPEC
 - I 005- STONE PER SPEC
 - I 006- STONE TILE PER SPEC
 - I 007- CONCRETE PER SPEC
- ROOF FINISHES**
- R 001- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

LEGEND

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- (SD) CEILING MOUNTED SMOKE DETECTOR
- (CM) CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- (X) EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- XXX DOOR NUMBER
- 11 WINDOW NUMBER
- (WTR #) WALL TAG, SEE WALL SCHEDULE AND DETAILS
- (E 003) FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:

SECTIONS

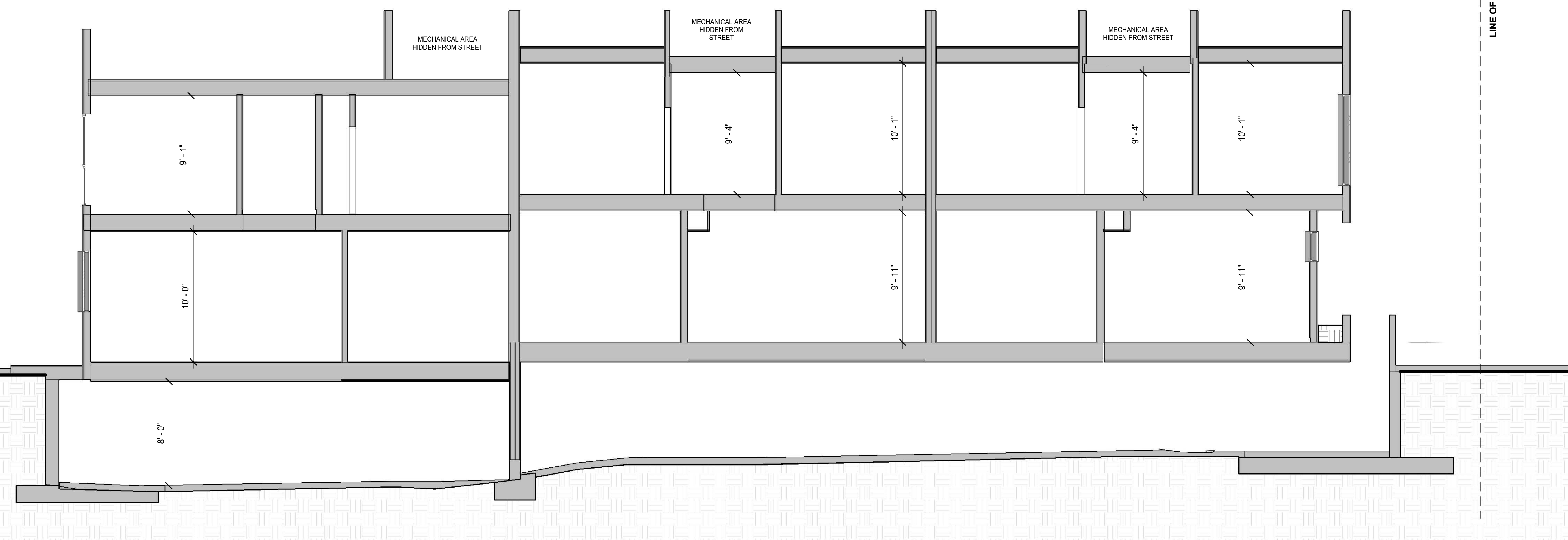
SHEET NO:

A301

1533 EUCLID
 1533 EUCLID STREET
 SANTA MONICA, CA 90404

- BLDG. HEIGHT FROM AVG. NAT. GRADE
- T.O. PARAPET 27' - 5"
 - T.O. ROOF B/C 24' - 8"
 - T.O. ROOF A 22' - 2"
 - 2ND FLOOR CEILING - A 19' - 10"
 - 2ND FLOOR - UNIT B/C 13' - 4"
 - 2ND FLOOR - UNIT A 11' - 10"
 - 1ST FLOOR CEILING - A 9' - 0"
 - 1ST FLOOR - UNIT B/C 2' - 0"
 - 1ST FLOOR - UNIT A 0' - 6"
 - AVG GRADE 0' - 0"
 - EUCLID ST. AVG -0' - 3"
 - BASEMENT FLOOR -7' - 2"

LINE OF MIN. SETBACK



LINE OF MIN. SETBACK

E-W_Section_1 SCALE 1/4" = 1'-0" 1

CODE NOTES:

1. FOR DOOR AND WINDOW SCHEDULE SEE A11.00 & A11.20
2. ELECTRICAL INSPECTION SHALL APPROVE GROUNDING OF REINFORCING, PLUMBING AND CONDUIT PRIOR TO THE APPROVAL OF REINFORCING STEEL FOR POURING OF CONCRETE OR GUNITE.
3. EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY-GLAZING STANDARD.
4. THE FOLLOWING SHALL BE CONSIDERED SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF SAFETY GLAZING. GLAZING IN: (2406)
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6. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
7. ALL INTERIOR AND EXTERIOR STAIRS TO BE ILLUMINATED
8. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
9. PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE-TREATED IN ACCORDANCE WITH AWPA U1 FOR SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.
10. OCCUPANCIES SHALL BE SEPARATED WITH MINIMUM 1 HR RATED CONSTRUCTION.
11. DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM No. 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIAL AND THERE SHALL BE NO OPENINGS FROM THE DUCTS INTO THE GARAGE.
12. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R612.7
13. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM.
14. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIV. PRIOR TO INSTALLATION.
15. REFUSE LOCATION CAN ONLY HAVE 95G CARTS AND AT NO POINT CAN THE OWNER(S) REQUEST ANYTHING LARGER THAN THIS. TENANT/OWNER IS RESPONSIBLE FOR PLACING THE 95G CARTS IN THE ALLEY FOR SERVICE AND BACK INTO THE PROPERTY AFTER SERVICE PER SMMC.

MATERIALS

- SITE MATERIALS**
- L 001- UNCOVERED CONCRETE, BROOM FINISH
 - L 002- PERMEABLE PAVING
 - L 003- GRAVEL PER SPEC
- FLOORS**
- F 001- WOOD FLOOR PER SPEC.
 - F 002- CONCRETE FLOOR PER SPEC.
 - F 003- TILE FLOOR PER SPEC.
 - F 004- STONE FLOOR PER SPEC.
 - F 005- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- E 001- STUCCO PER SPEC
 - E 002- PORCELAIN TILE PER SPEC
 - E 003- CONCRETE BLOCK PER SPEC
 - E 004- BOARD FORMED CONCRETE PER SPEC
 - E 005- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- I 001- PAINTED GYPSUM BOARD PER SPEC
 - I 002- WALL TILE PER SPEC
 - I 004- BASE PER SPEC
 - I 005- STONE PER SPEC
 - I 006- STONE TILE PER SPEC
 - I 007- CONCRETE PER SPEC
- ROOF FINISHES**
- R 001- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

LEGEND

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- (SD) CEILING MOUNTED SMOKE DETECTOR
- (CM) CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- (S) EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- (XXX) DOOR NUMBER
- (11) WINDOW NUMBER
- (WTR #) WALL TAG, SEE WALL SCHEDULE AND DETAILS
- (E 003) FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

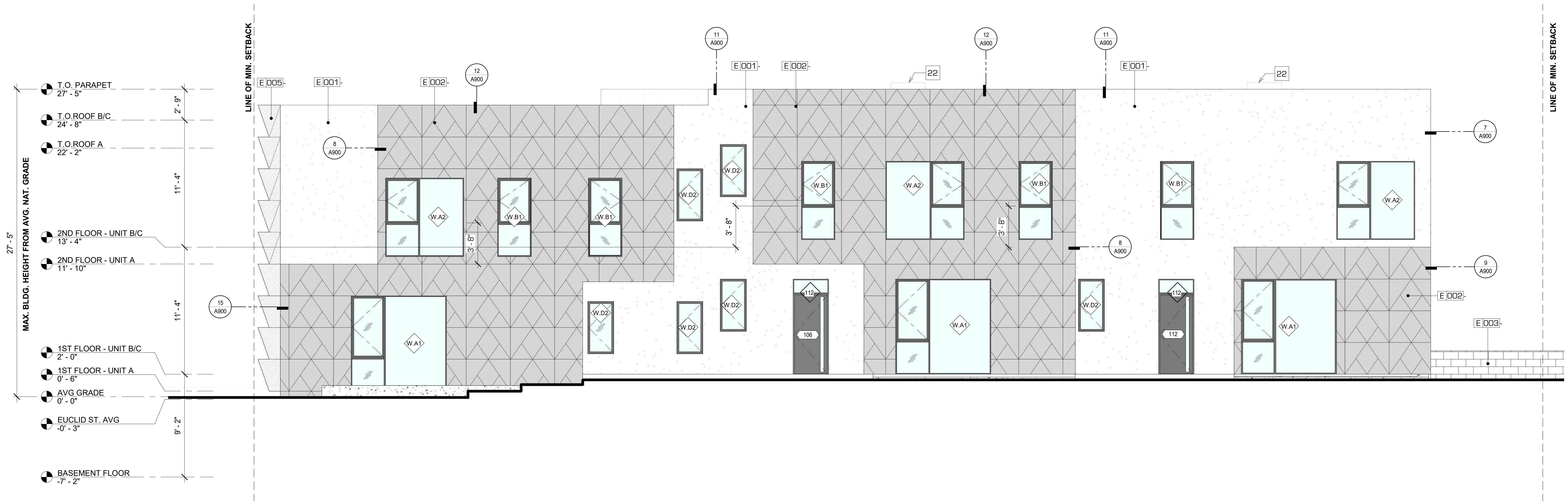
DRAWING TITLE:

SECTIONS

SHEET NO:

A302

1533 EUCLID
1533 EUCLID STREET
SANTA MONICA, CA 90404



EXTERIOR ELEVATION - PROJECT SOUTH

SCALE
1/4" = 1'-0"

1

CODE NOTES:

MATERIAL LEGEND

- [E.001]- STUCCO PER SPEC
- [E.002]- PORCELAIN TILE PER SPEC
- [E.003]- CONCRETE BLOCK PER SPEC
- [E.004]- BOARD FORMED CONCRETE PER SPEC
- [E.005]- G.F.R.C. PER SPEC
- FENESTRATION GLAZING PER WINDOW/DOOR SCHEDULE
- FENESTRATION FRAMES & PANELS PER WINDOW/DOOR SCHEDULES

MATERIALS

- SITE MATERIALS**
- [L.001]- UNCOVERED CONCRETE, BROOM FINISH
 - [L.002]- PERMEABLE PAVING
 - [L.003]- GRAVEL PER SPEC
- FLOORS**
- [F.001]- WOOD FLOOR PER SPEC.
 - [F.002]- CONCRETE FLOOR PER SPEC.
 - [F.003]- TILE FLOOR PER SPEC.
 - [F.004]- STONE FLOOR PER SPEC.
 - [F.005]- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- [E.001]- STUCCO PER SPEC
 - [E.002]- PORCELAIN TILE PER SPEC
 - [E.003]- CONCRETE BLOCK PER SPEC
 - [E.004]- BOARD FORMED CONCRETE PER SPEC
 - [E.005]- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- [I.001]- PAINTED GYPSUM BOARD PER SPEC
 - [I.002]- WALL TILE PER SPEC
 - [I.004]- BASE PER SPEC
 - [I.005]- STONE PER SPEC
 - [I.006]- STONE TILE PER SPEC
 - [I.007]- CONCRETE PER SPEC
- ROOF FINISHES**
- [R.001]- PAINTED GYPSUM BOARD PER SPEC

KEYNOTES

- [22] MECHANICAL UNIT

LEGEND

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- (SD) CEILING MOUNTED SMOKE DETECTOR
- (CM) CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- WALL TAG, SEE WALL SCHEDULE AND DETAILS
- [E.003]- FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

NOTE: KEYNOTES ARE TYPICAL - ALL MAY NOT OCCUR, TYPICAL.

1. SEE SHEET A950 FOR FINISHES.
2. SEE SHEET A960 FOR DOORS SCHEDULE.
3. SEE SHEET A970 FOR WINDOWS SCHEDULE.

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

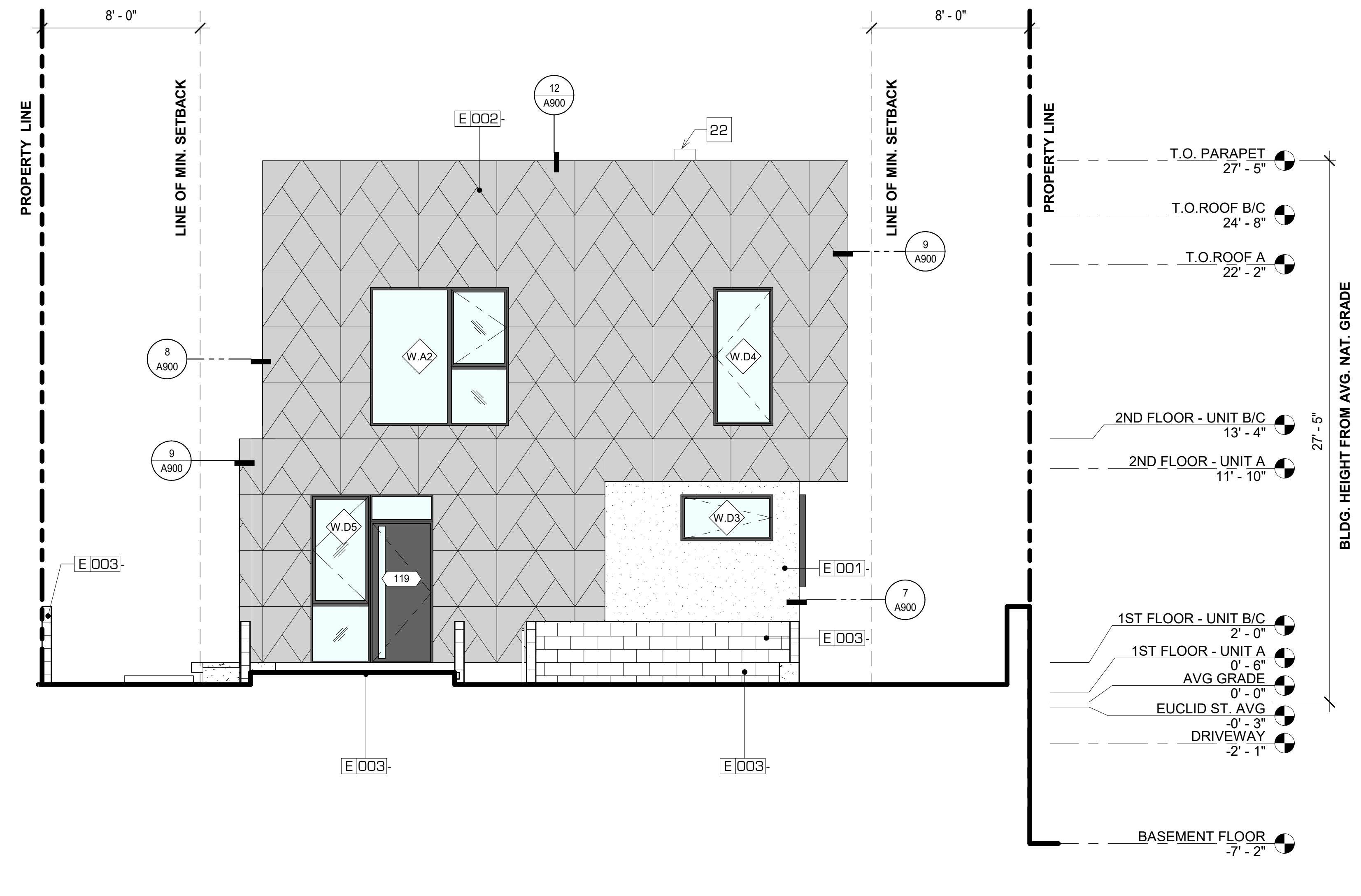
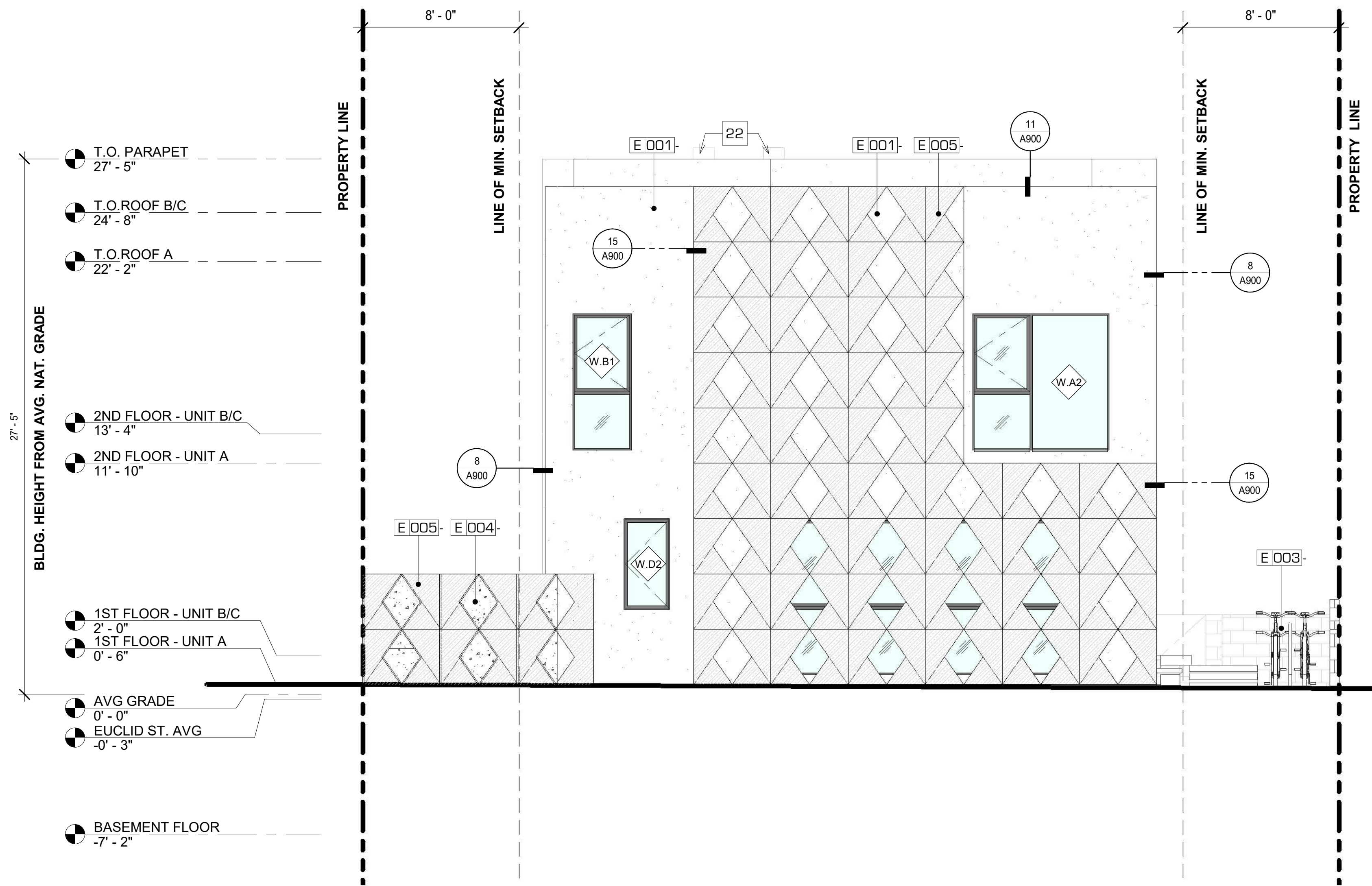
SHEET SIZE: 30X42

DRAWING TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

A400



EXTERIOR ELEVATION - PROJECT WEST (FRONT)

SCALE 1/4" = 1'-0" 2

EXTERIOR ELEVATION - PROJECT EAST (REAR)

SCALE 1/4" = 1'-0" 1

CODE NOTES:

MATERIAL LEGEND

MATERIALS

KEYNOTES

LEGEND

- [E.001]- STUCCO PER SPEC
- [E.002]- PORCELAIN TILE PER SPEC
- [E.003]- CONCRETE BLOCK PER SPEC
- [E.004]- BOARD FORMED CONCRETE PER SPEC
- [E.005]- G.F.R.C. PER SPEC
- FENESTRATION GLAZING PER WINDOW/DOOR SCHEDULE
- FENESTRATION FRAMES & PANELS PER WINDOW/DOOR SCHEDULES

- SITE MATERIALS**
- [L.001]- UNCOVERED CONCRETE, BROOM FINISH
 - [L.002]- PERMEABLE PAVING
 - [L.003]- GRAVEL PER SPEC
- FLOORS**
- [F.001]- WOOD FLOOR PER SPEC.
 - [F.002]- CONCRETE FLOOR PER SPEC.
 - [F.003]- TILE FLOOR PER SPEC.
 - [F.004]- STONE FLOOR PER SPEC.
 - [F.005]- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- [E.001]- STUCCO PER SPEC
 - [E.002]- PORCELAIN TILE PER SPEC
 - [E.003]- CONCRETE BLOCK PER SPEC
 - [E.004]- BOARD FORMED CONCRETE PER SPEC
 - [E.005]- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- [I.001]- PAINTED GYPSUM BOARD PER SPEC
 - [I.002]- WALL TILE PER SPEC
 - [I.004]- BASE PER SPEC
 - [I.005]- STONE PER SPEC
 - [I.006]- STONE TILE PER SPEC
 - [I.007]- CONCRETE PER SPEC
- ROOF FINISHES**
- [R.001]- PAINTED GYPSUM BOARD PER SPEC

22 MECHANICAL UNIT

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- WALL TAG, SEE WALL SCHEDULE AND DETAILS
- FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

A401



EXTERIOR ELEVATION - PROJECT NORTH SCALE 1/4" = 1'-0" 1

CODE NOTES:

MATERIAL LEGEND

MATERIALS

KEYNOTES

LEGEND

- [E.001]- STUCCO PER SPEC
- [E.002]- PORCELAIN TILE PER SPEC
- [E.003]- CONCRETE BLOCK PER SPEC
- [E.004]- BOARD FORMED CONCRETE PER SPEC
- [E.005]- G.F.R.C. PER SPEC
- FENESTRATION GLAZING PER WINDOW/DOOR SCHEDULE
- FENESTRATION FRAMES & PANELS PER WINDOW/DOOR SCHEDULES

- SITE MATERIALS**
- [L.001]- UNCOVERED CONCRETE, BROOM FINISH
 - [L.002]- PERMEABLE PAVING
 - [L.003]- GRAVEL PER SPEC
- FLOORS**
- [F.001]- WOOD FLOOR PER SPEC.
 - [F.002]- CONCRETE FLOOR PER SPEC.
 - [F.003]- TILE FLOOR PER SPEC.
 - [F.004]- STONE FLOOR PER SPEC.
 - [F.005]- COMPOSITE DECK PER SPEC.
- EXTERIOR WALLS**
- [E.001]- STUCCO PER SPEC
 - [E.002]- PORCELAIN TILE PER SPEC
 - [E.003]- CONCRETE BLOCK PER SPEC
 - [E.004]- BOARD FORMED CONCRETE PER SPEC
 - [E.005]- G.F.R.C. PER SPEC
- INTERIOR FINISHES**
- [I.001]- PAINTED GYPSUM BOARD PER SPEC
 - [I.002]- WALL TILE PER SPEC
 - [I.004]- BASE PER SPEC
 - [I.005]- STONE PER SPEC
 - [I.006]- STONE TILE PER SPEC
 - [I.007]- CONCRETE PER SPEC
- ROOF FINISHES**
- [R.001]- PAINTED GYPSUM BOARD PER SPEC

22 MECHANICAL UNIT

- (N) WALL
- (N) CONCRETE BLOCK
- (N) CONCRETE WALL
- AREA OF ADDITION
- DASHED LINE INDICATES BUILDING ABOVE OR BELOW
- CEILING MOUNTED SMOKE DETECTOR
- CEILING MOUNTED CARBON MONOXIDE SMOKE DETECTOR
- EXHAUST FAN, CEILING MOUNTED @ 50 CFM MIN REQ'D.
- DOOR NUMBER
- WINDOW NUMBER
- WALL TAG, SEE WALL SCHEDULE AND DETAILS
- FINISH SYMBOL
- FINISH NUMBER
- FINISH GROUP

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

SHEET SIZE: 30X42

DRAWING TITLE:

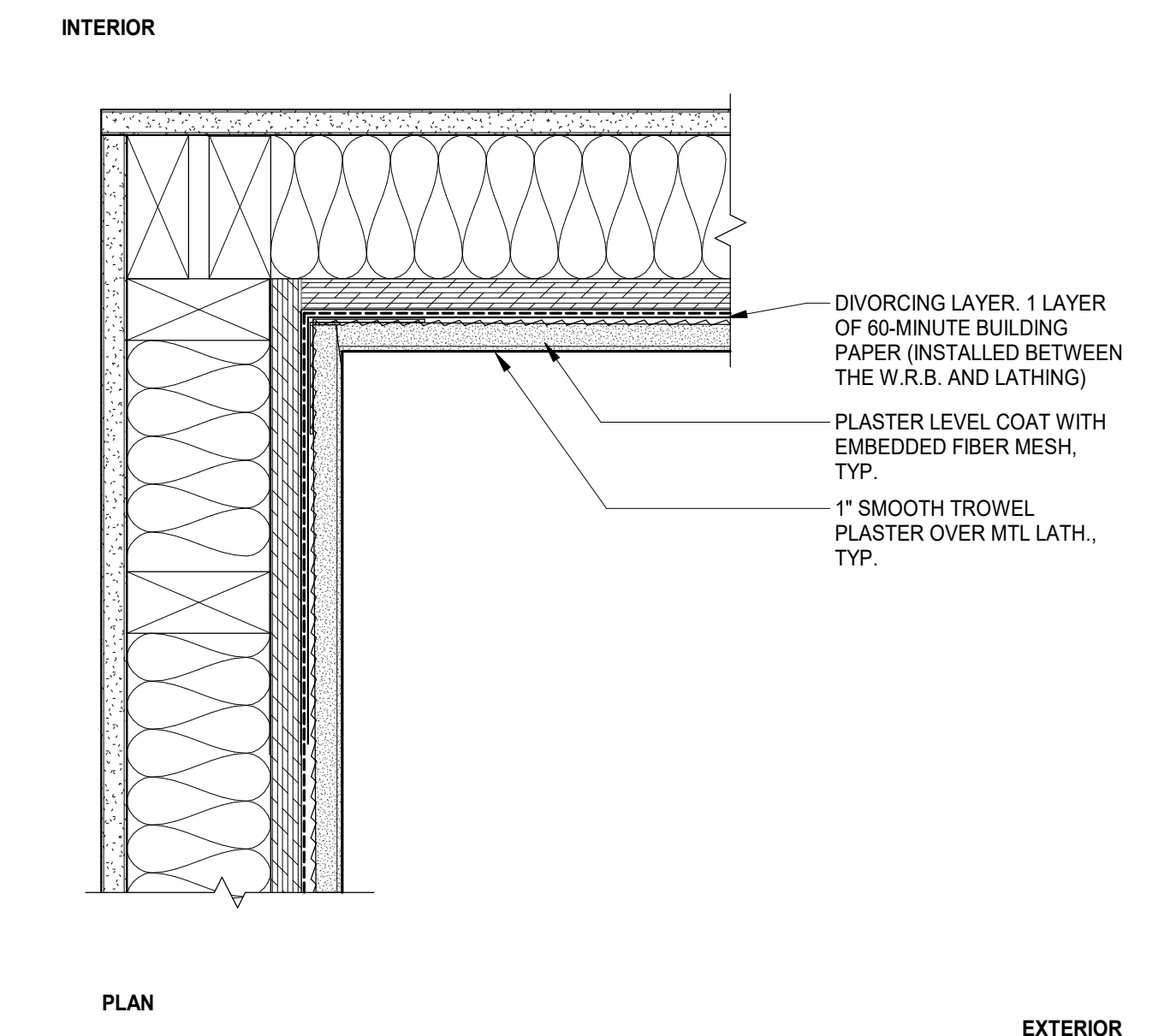
EXTERIOR ELEVATIONS

SHEET NO:

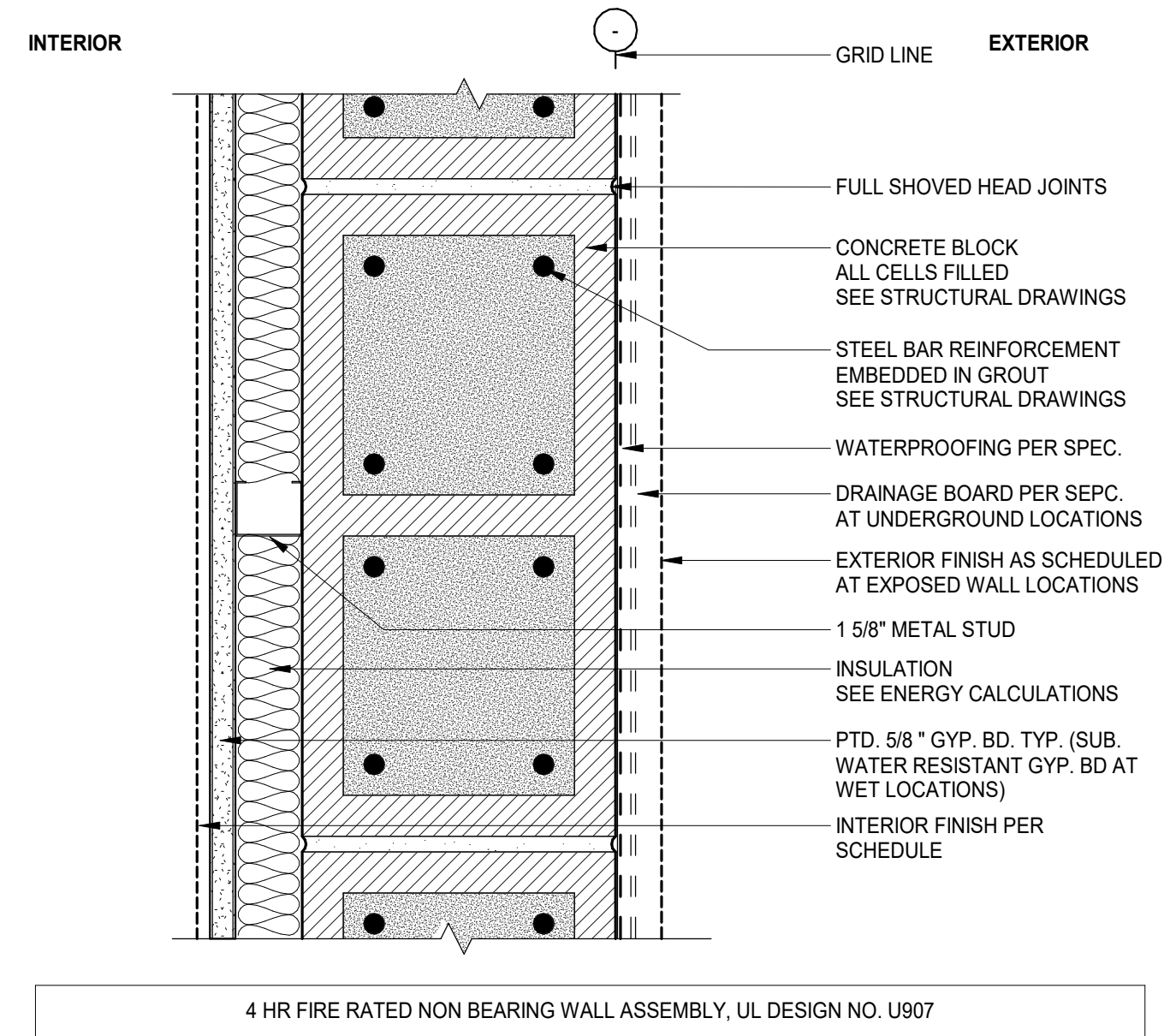
A402

ISSUE OR REVISION NOTES:

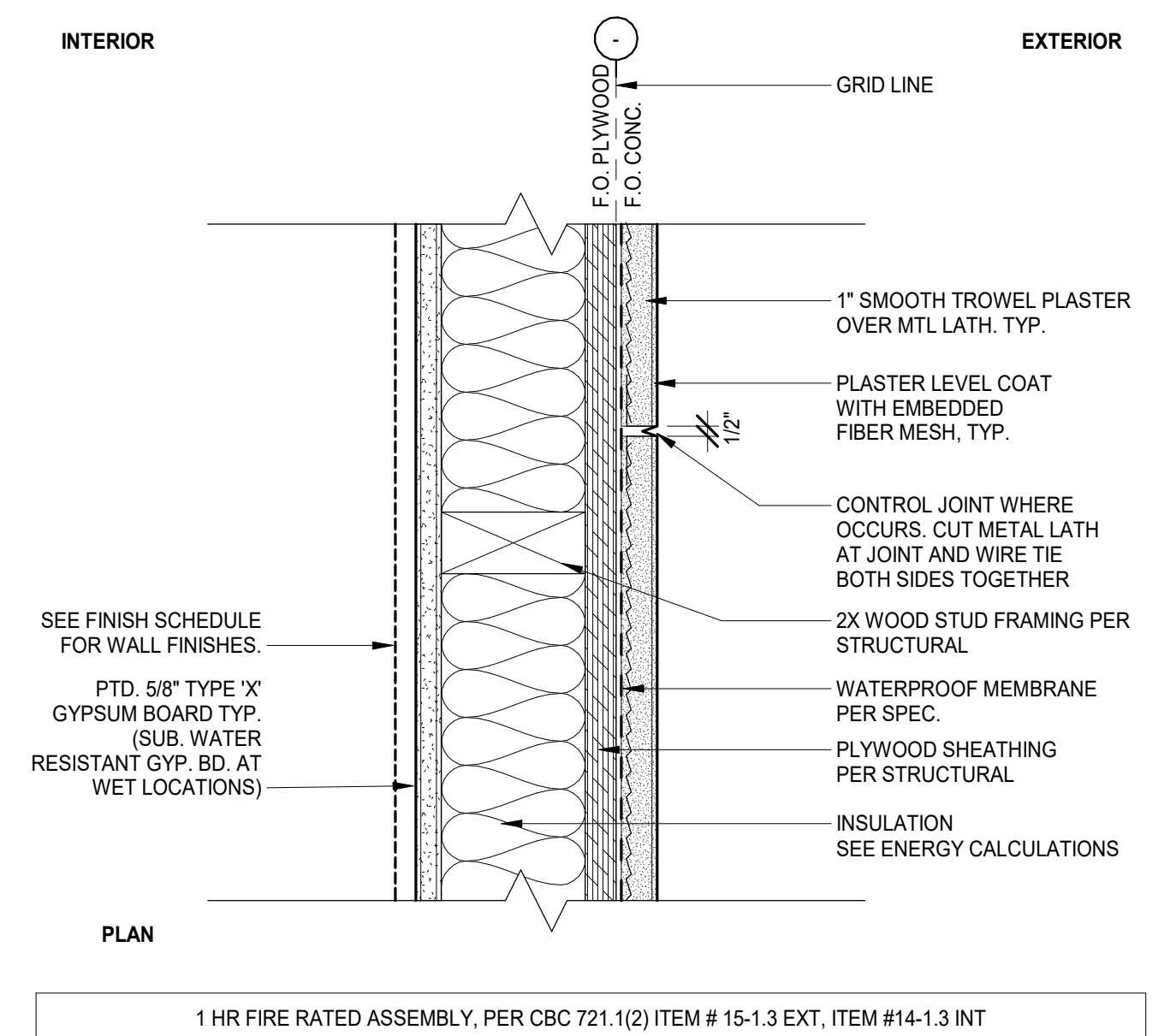
NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW



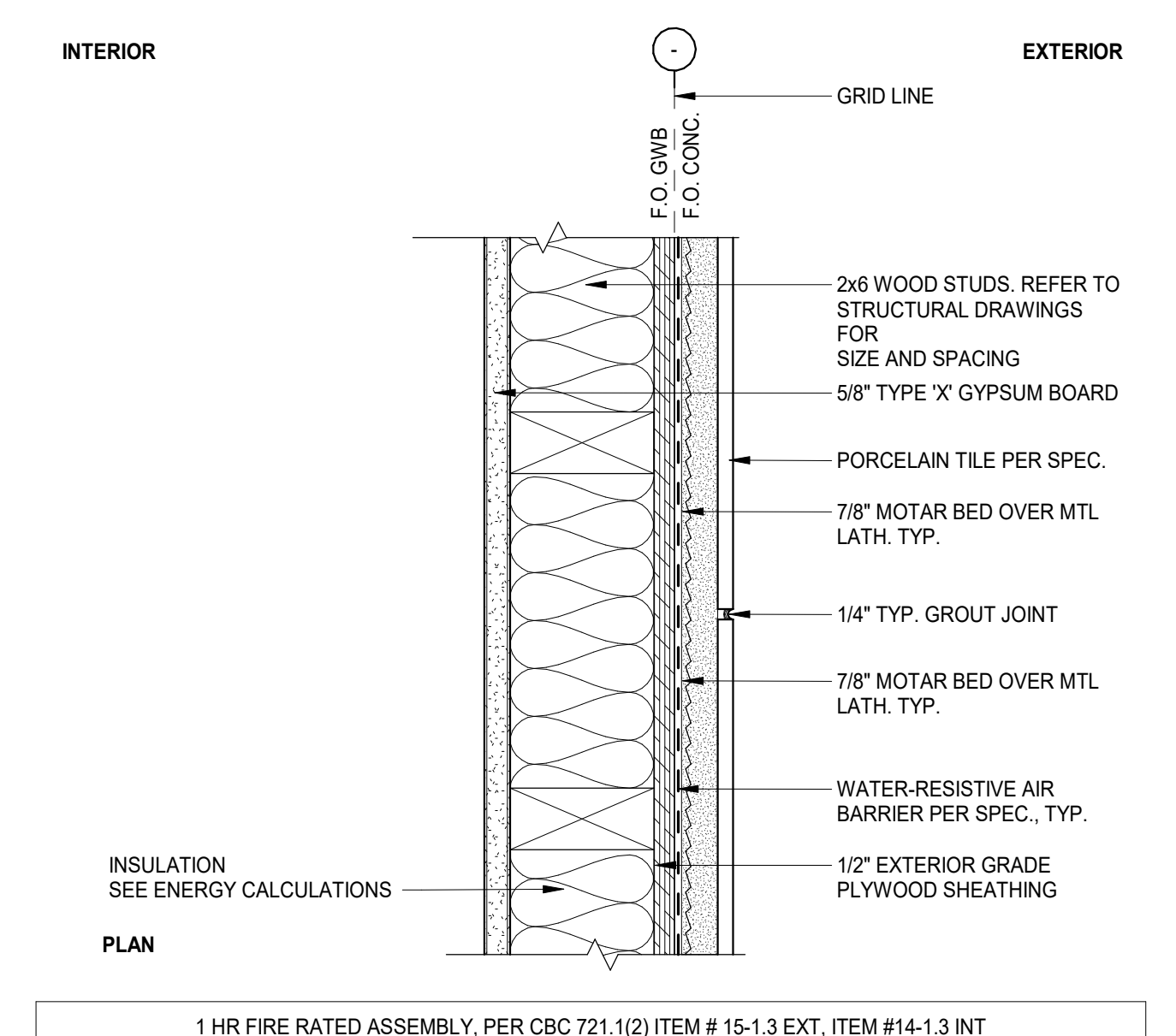
TYP. STUCCO WALL INSIDE CORNER SCALE 3" = 1'-0" 6



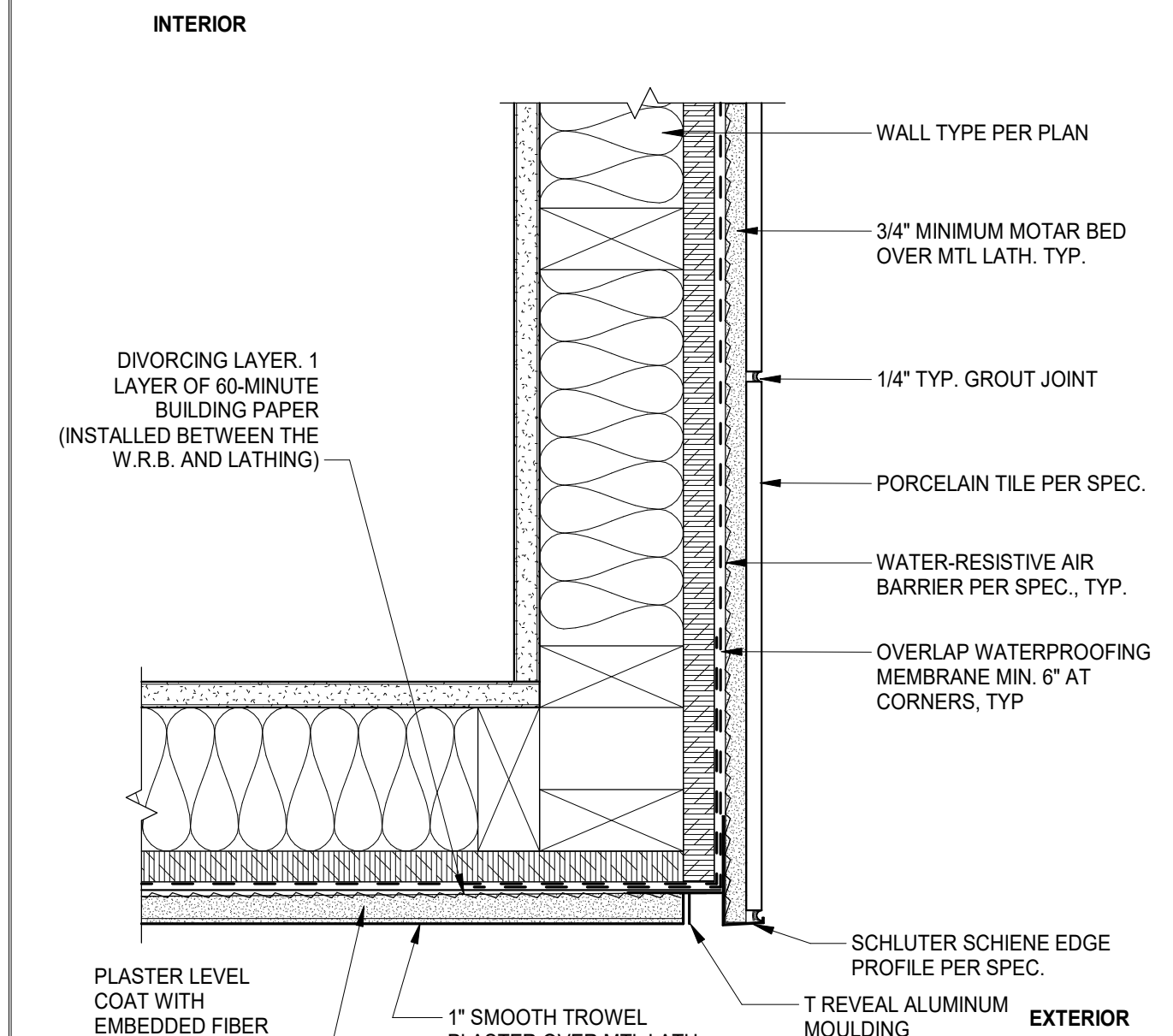
TYP. CMU EXTERIOR WALL SCALE 3" = 1'-0" 3



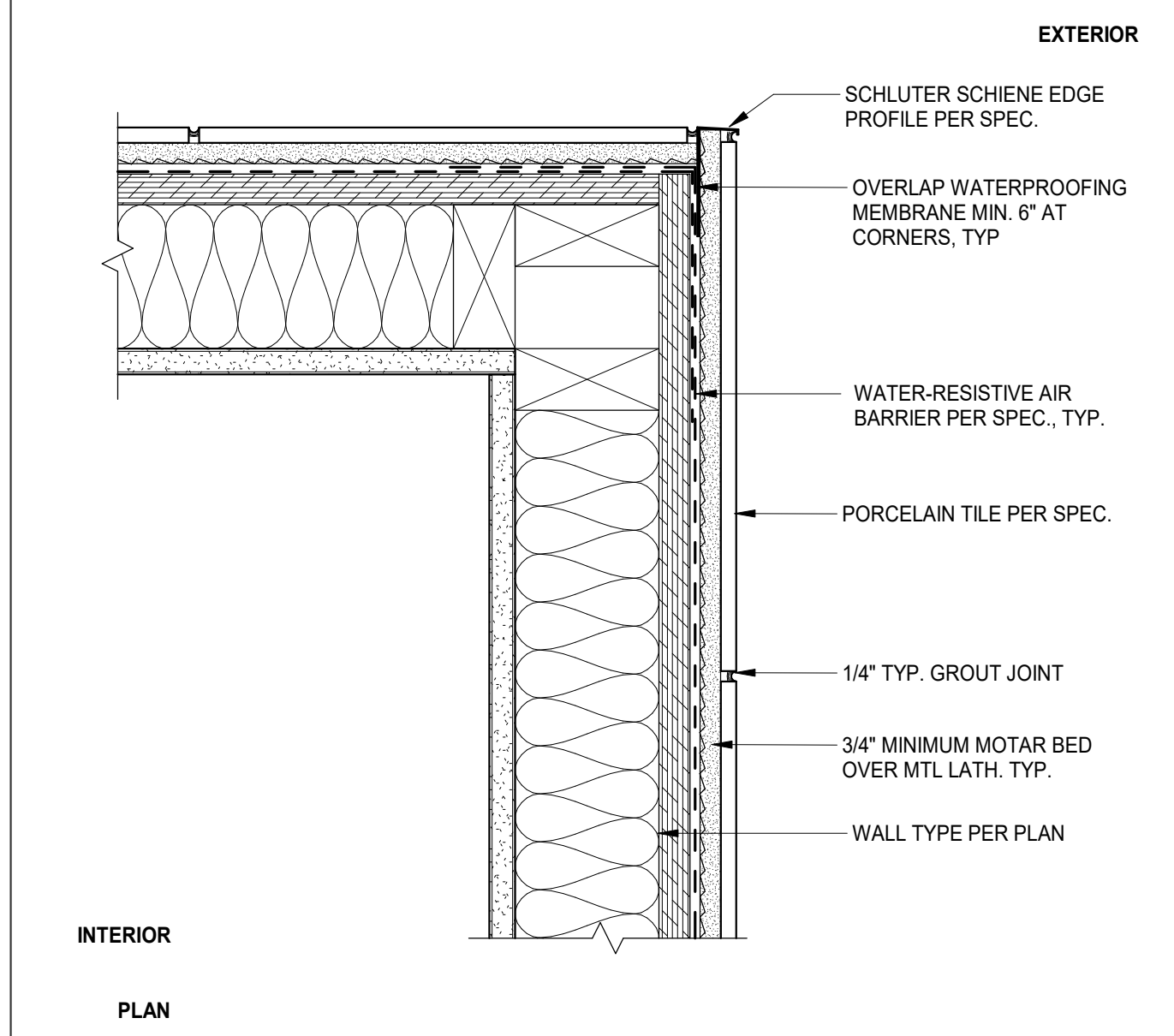
TYP. STUCCO EXTERIOR WALL SCALE 3" = 1'-0" 2



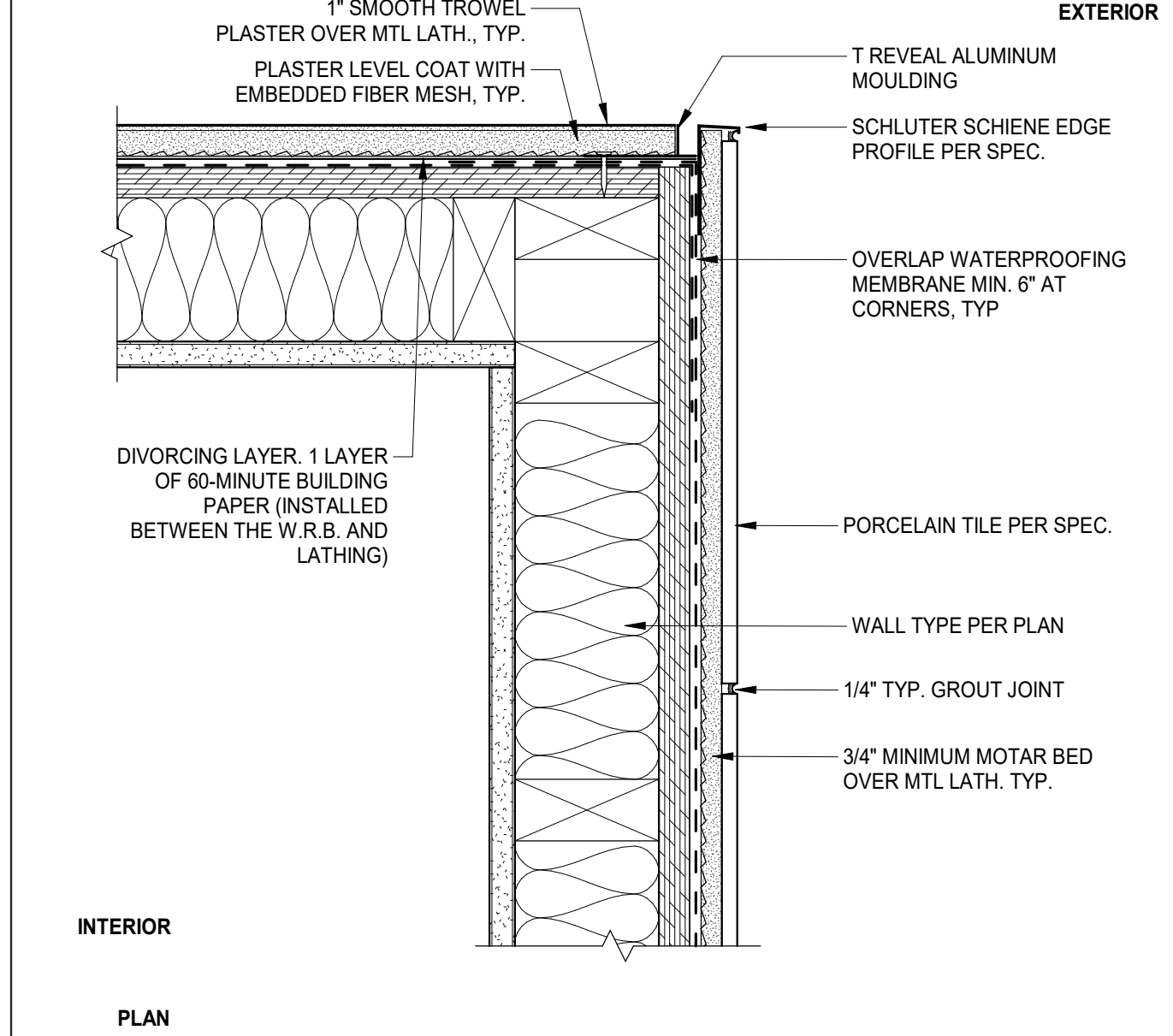
TYP. PORCELAIN TILE EXTERIOR WALL SCALE 3" = 1'-0" 1



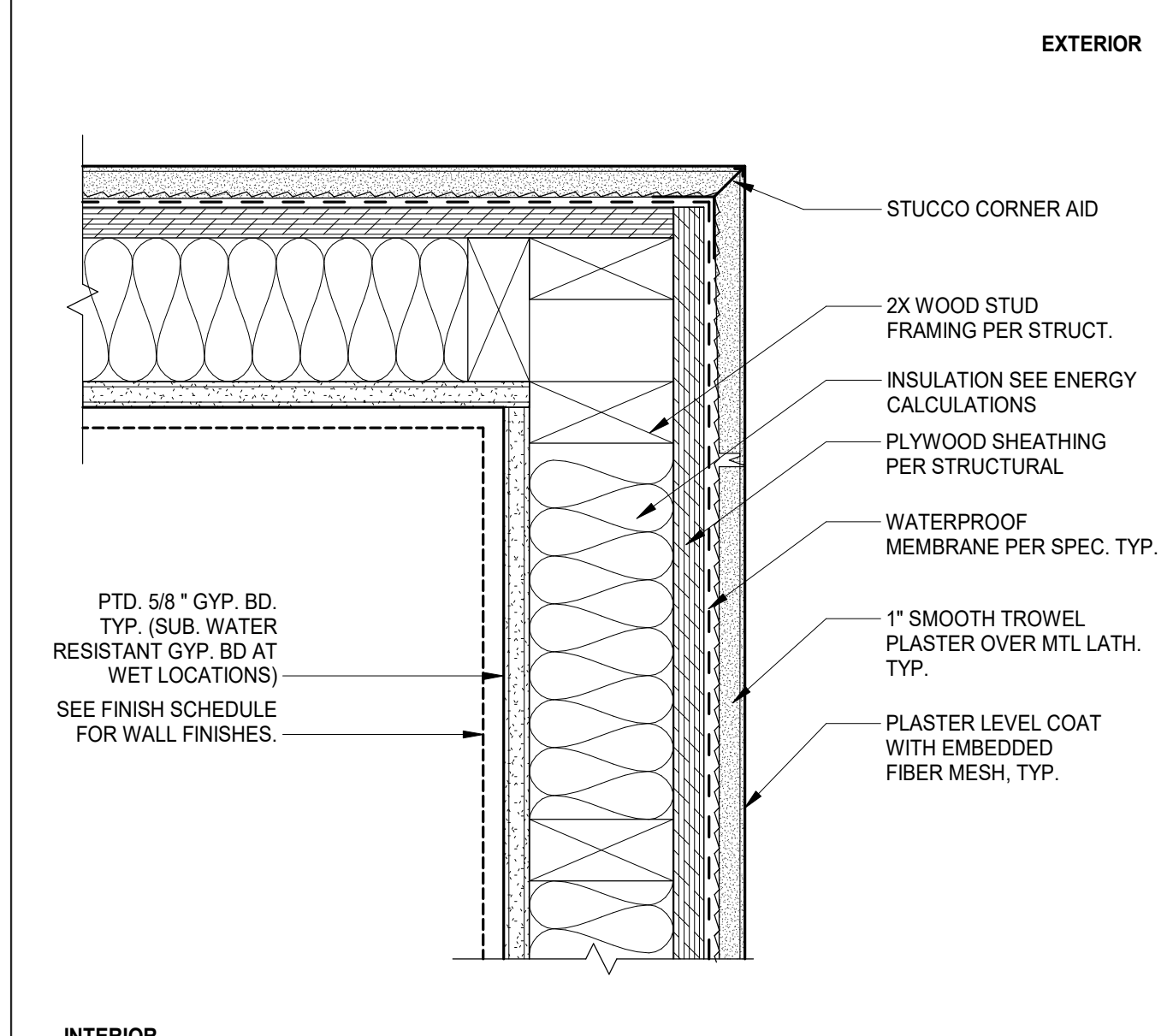
CORNER @ TILE & STUCCO CEILING SCALE 3" = 1'-0" 10



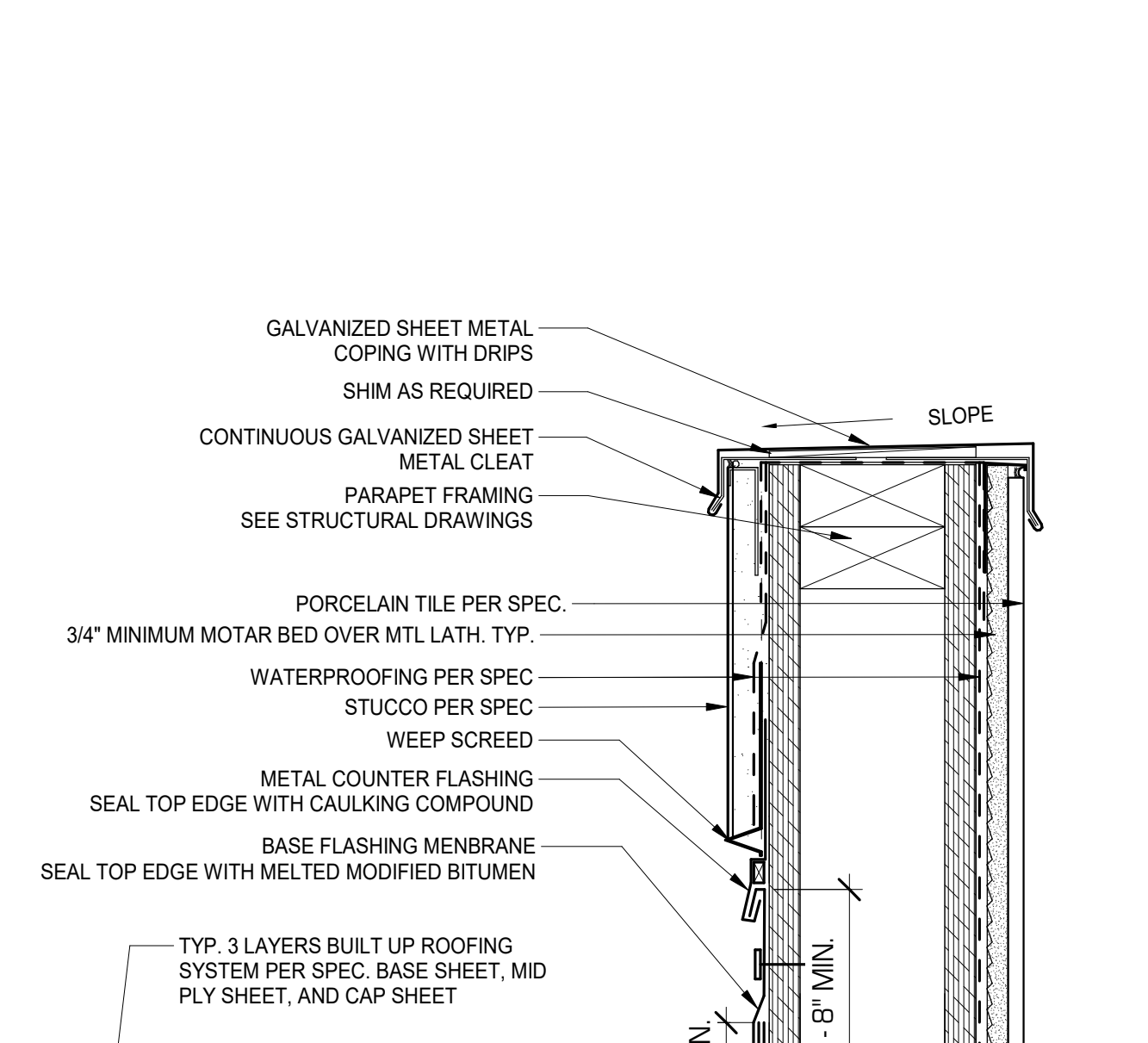
TYP. PORCELAIN TILE WALL OUTSIDE CORNER SCALE 3" = 1'-0" 9



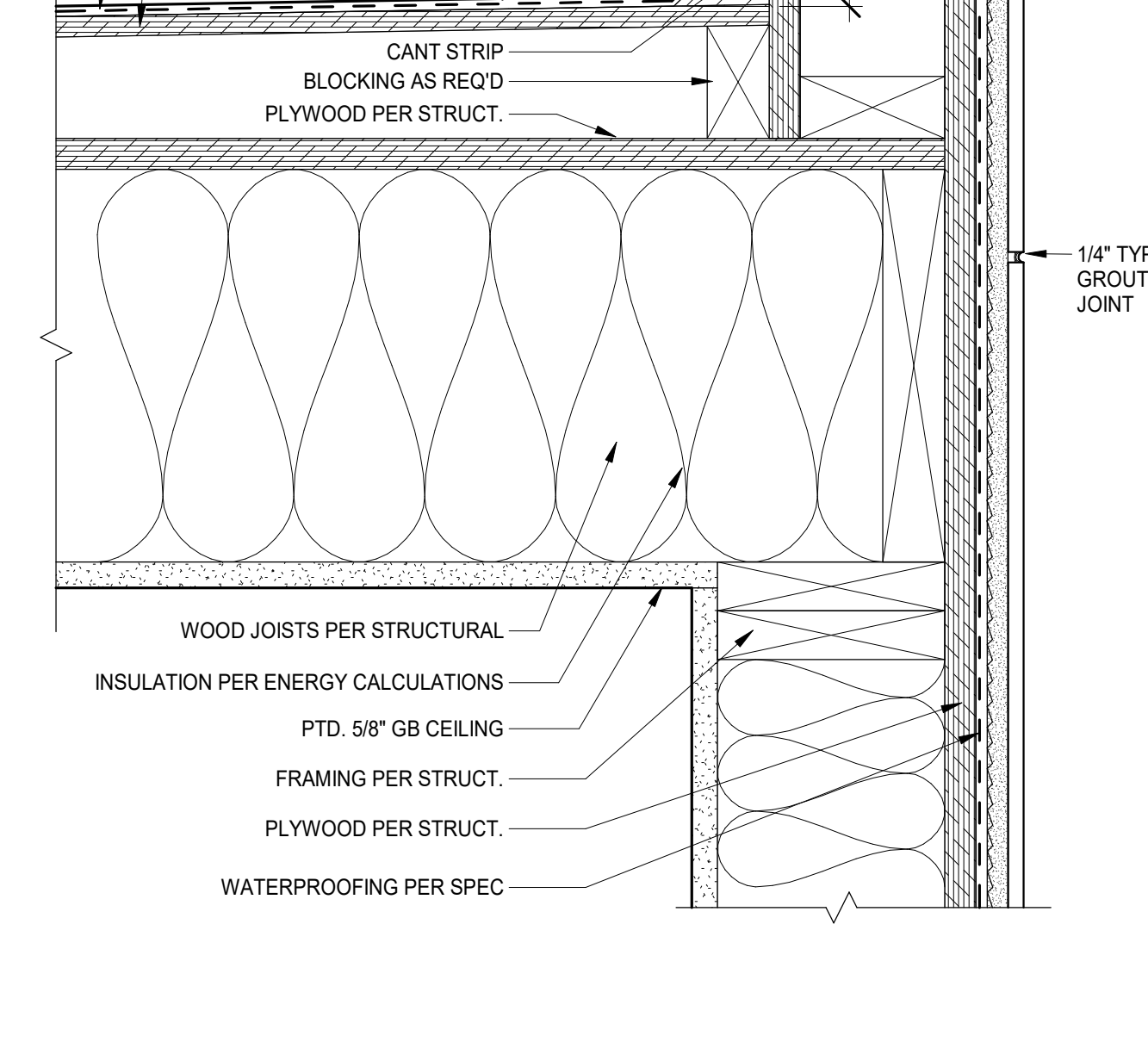
TYP. TILE & STUCCO WALL OUTSIDE CORNER SCALE 3" = 1'-0" 8



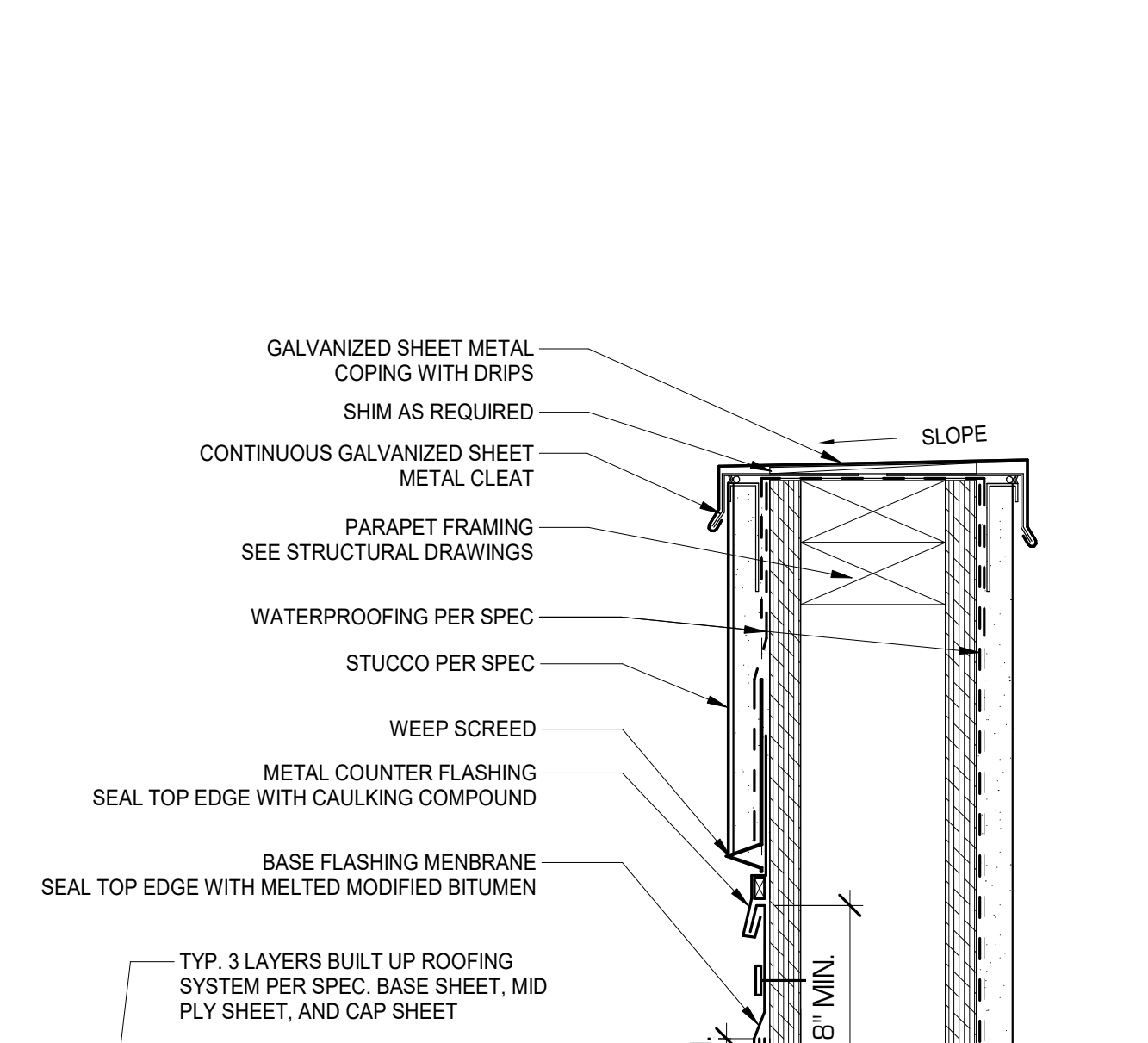
TYP. STUCCO WALL OUTSIDE CORNER SCALE 3" = 1'-0" 7



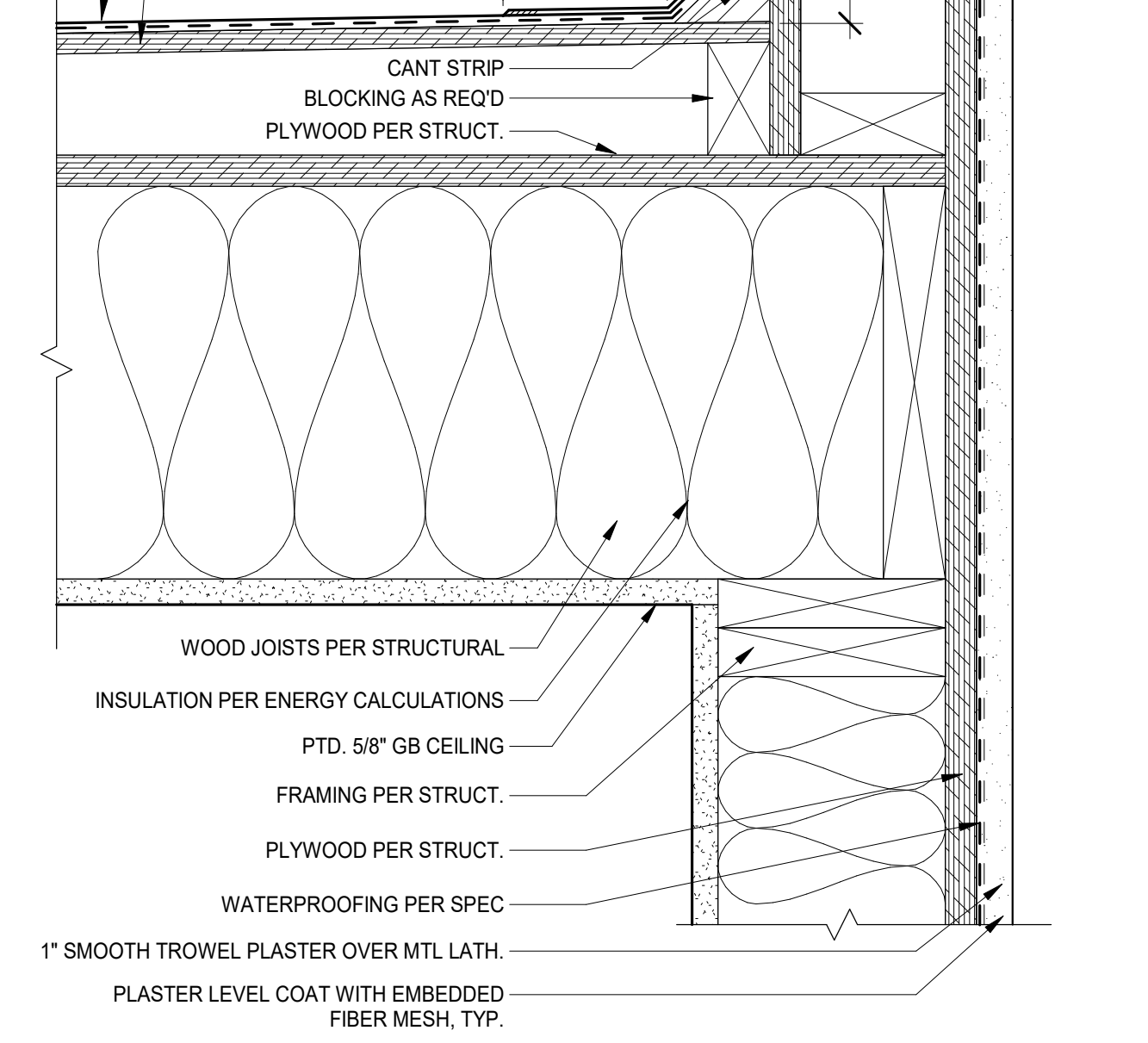
TYP. PARAPET @ STUCCO WALL SCALE 3" = 1'-0" 11



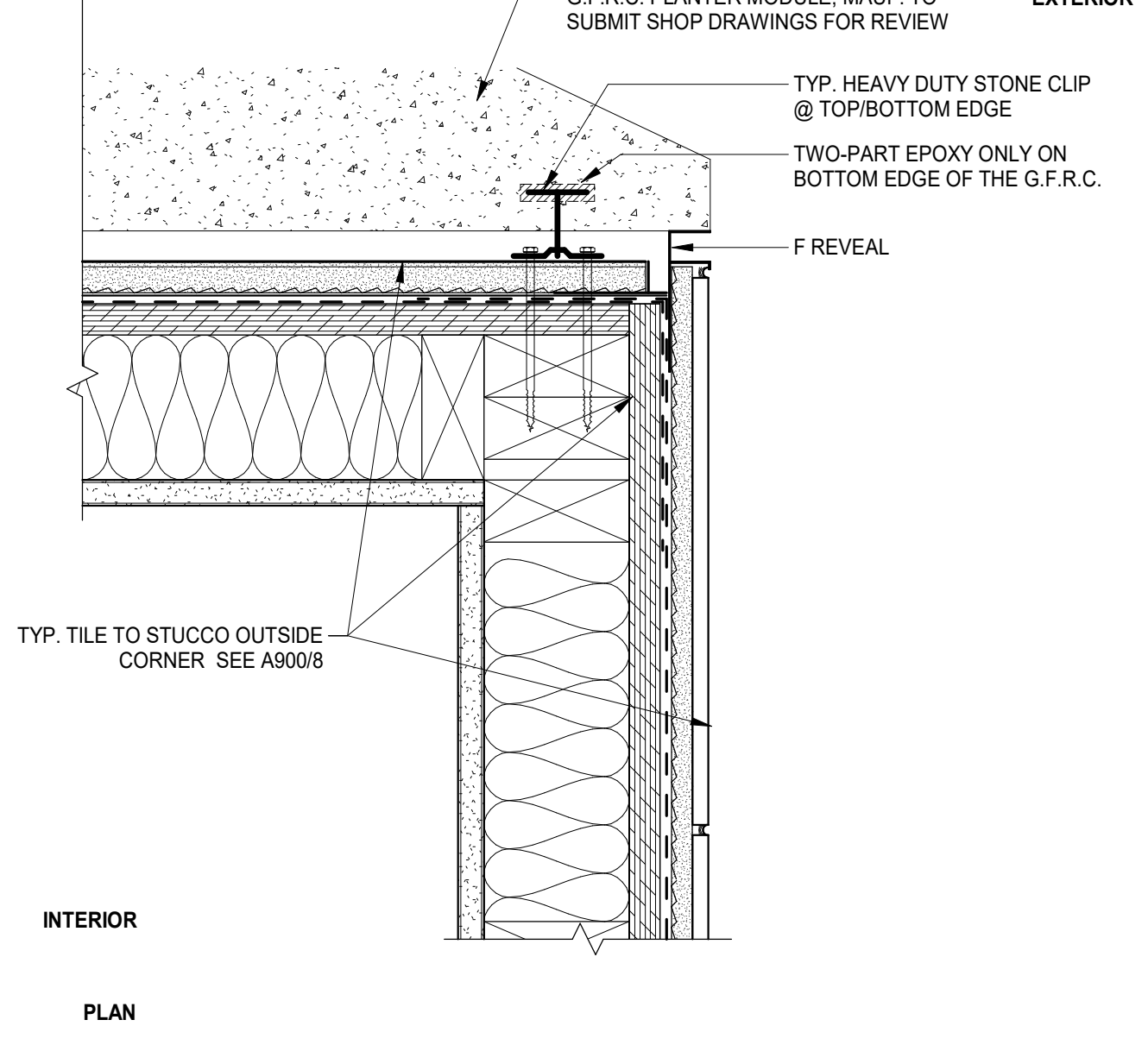
TYP. PARAPET @ VERTICAL WOOD SIDING SCALE 3" = 1'-0" 12



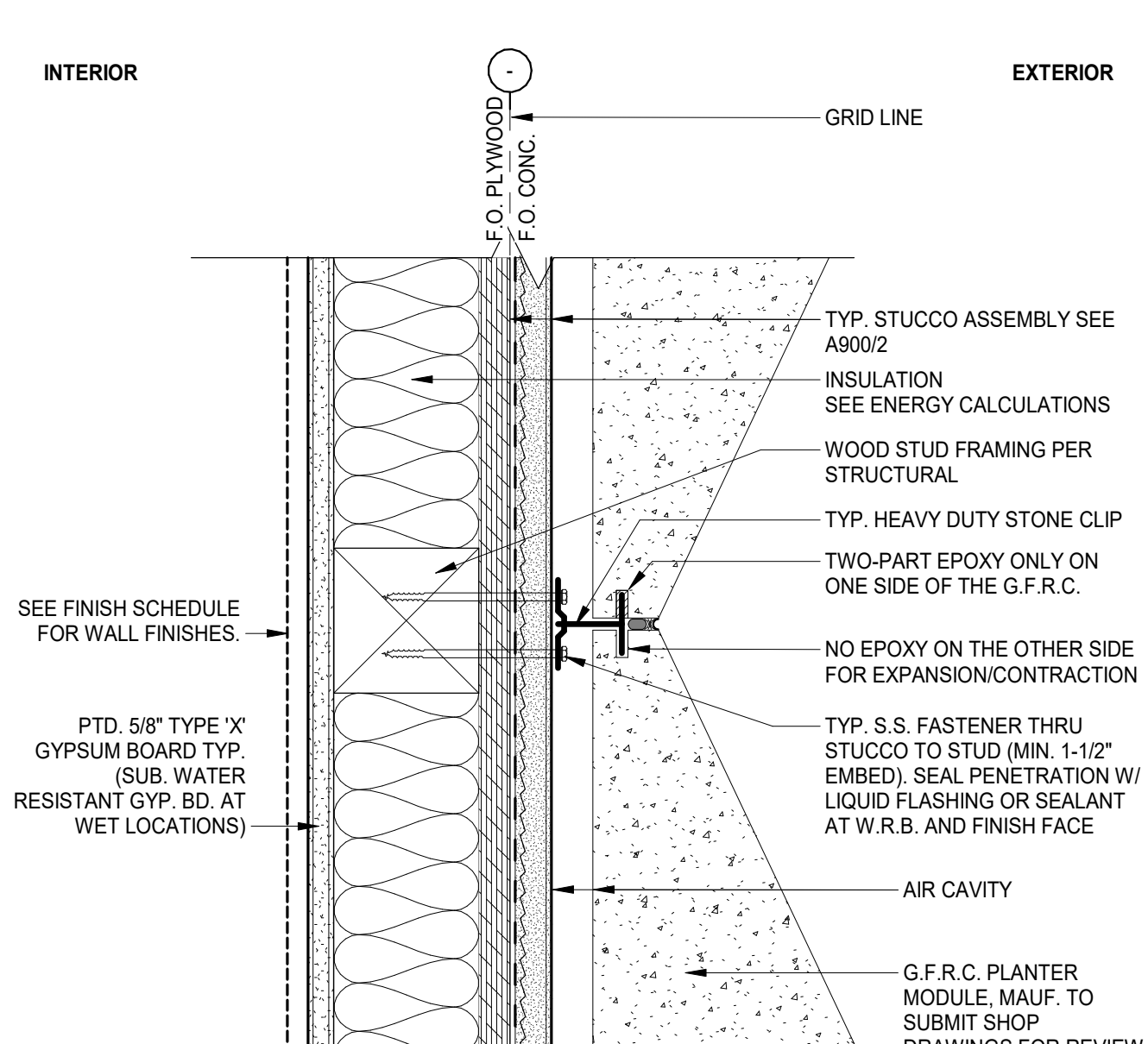
TYP. PARAPET @ STUCCO WALL SCALE 3" = 1'-0" 11



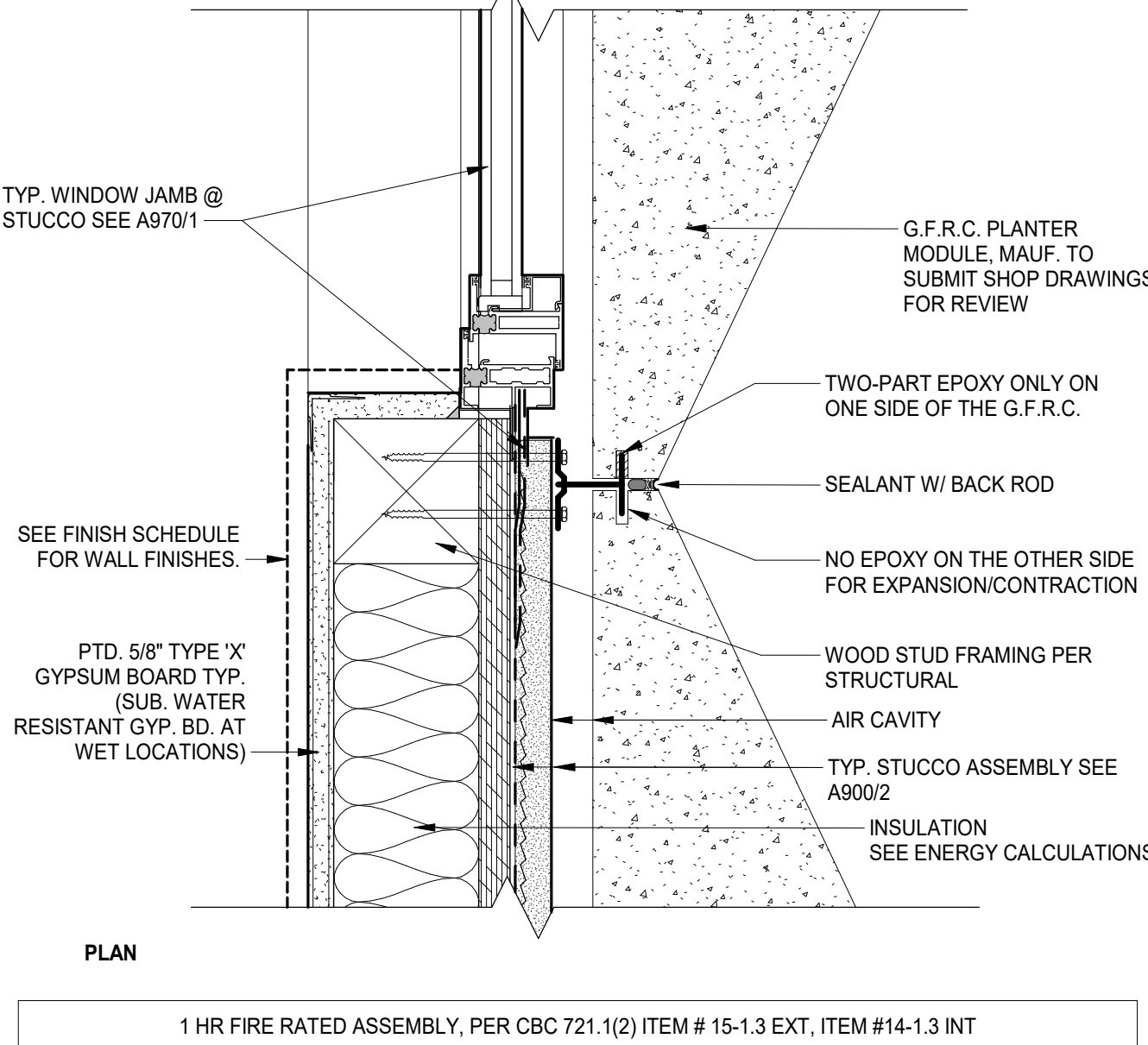
TYP. PARAPET @ STUCCO WALL SCALE 3" = 1'-0" 11



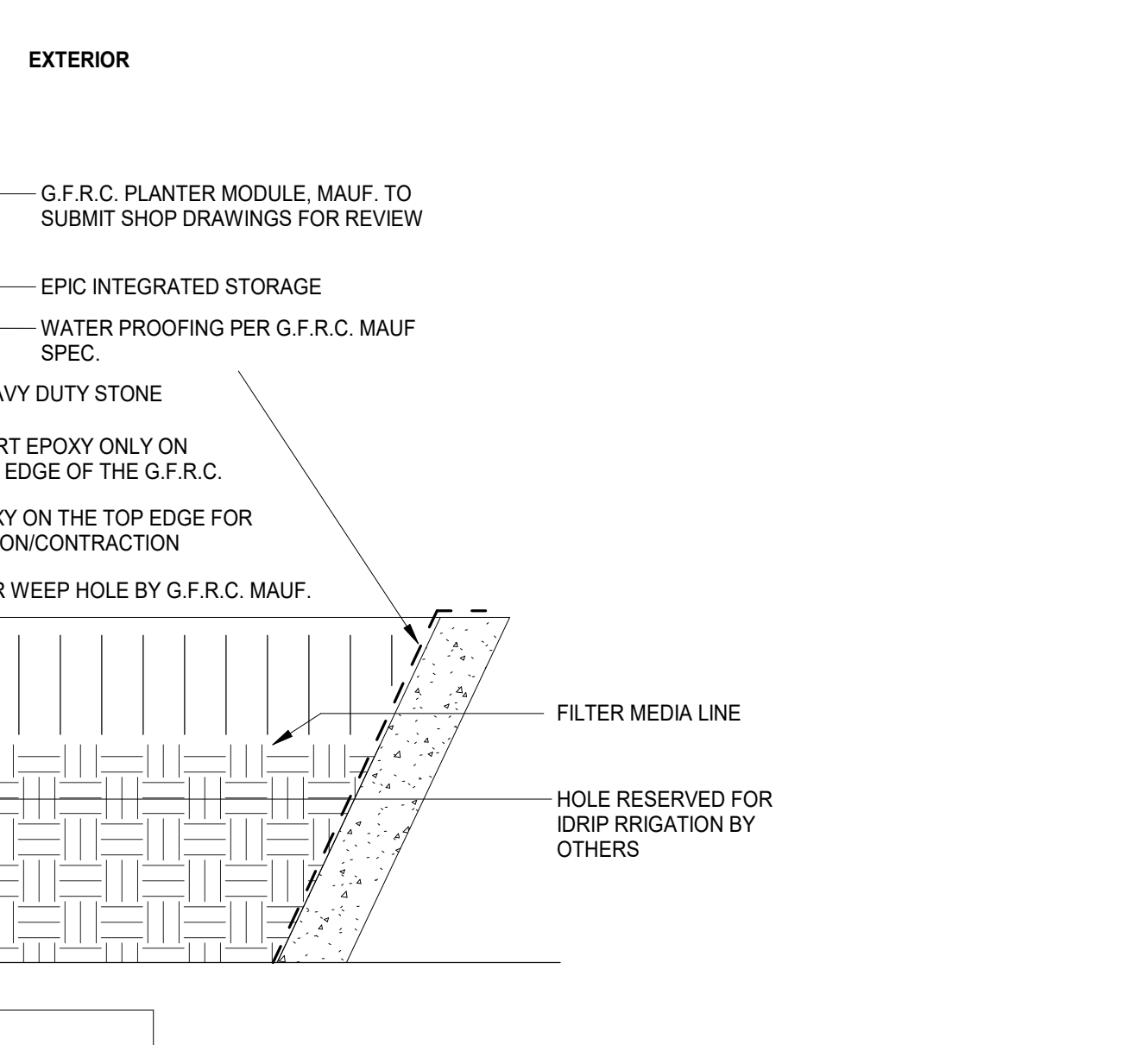
TYP. TILE & G.F.R.C. WALL OUTSIDE CORNER SCALE 3" = 1'-0" 15



TYP. G.F.R.C. OVER STUCCO EXT. WALL PLAN SCALE 3" = 1'-0" 14



TYP. G.F.R.C. OVER STUCCO EXT. WALL PLAN SCALE 3" = 1'-0" 14



TYP. G.F.R.C. OVER STUCCO EXT. WALL SEC. SCALE 3" = 1'-0" 13



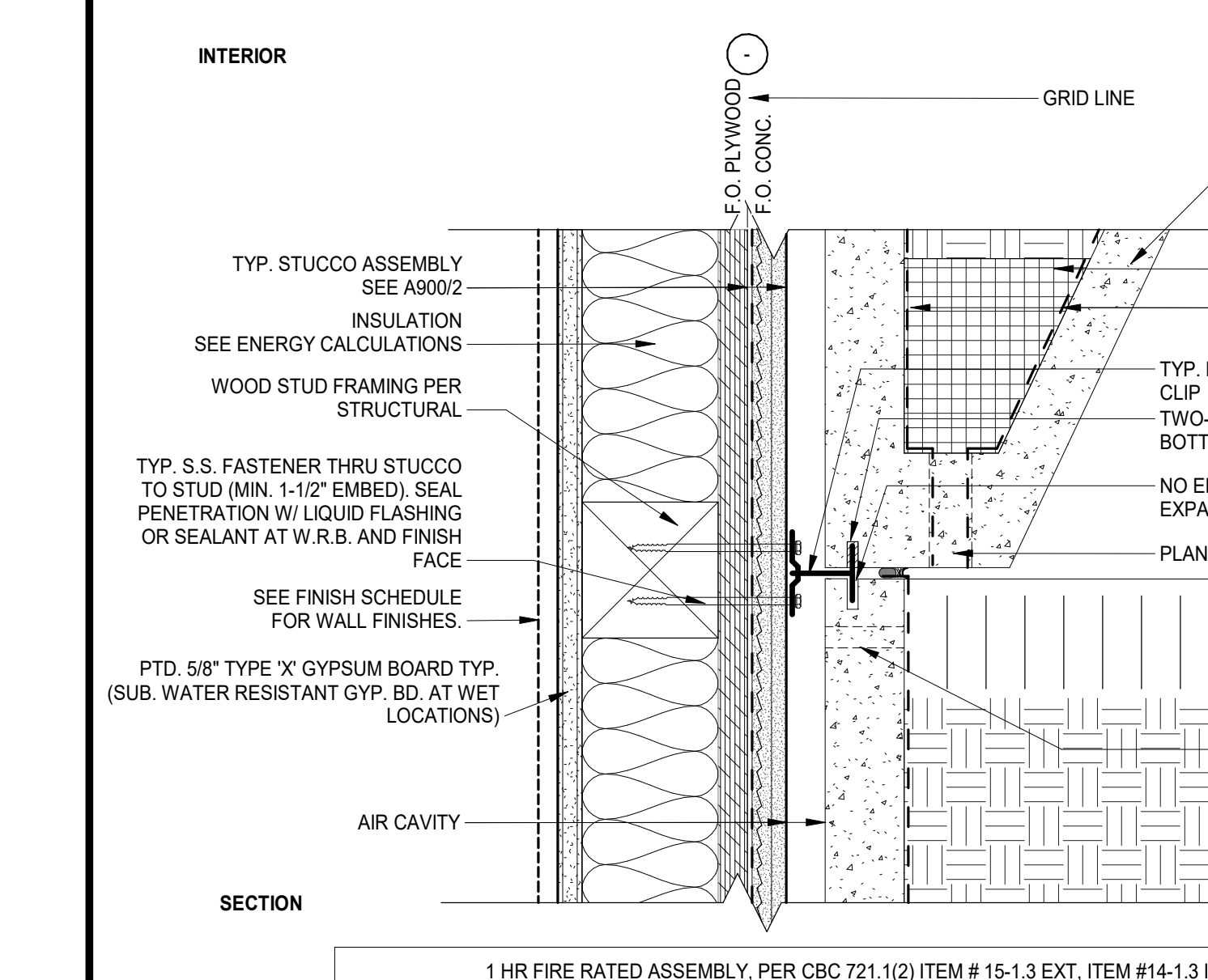
TYP. G.F.R.C. OVER STUCCO EXT. WALL SEC. SCALE 3" = 1'-0" 13



TYP. G.F.R.C. OVER STUCCO EXT. WALL SEC. SCALE 3" = 1'-0" 13



TYP. G.F.R.C. OVER STUCCO EXT. WALL SEC. SCALE 3" = 1'-0" 13



TYP. G.F.R.C. OVER STUCCO EXT. WALL SEC. SCALE 3" = 1'-0" 13

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ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE: As indicated

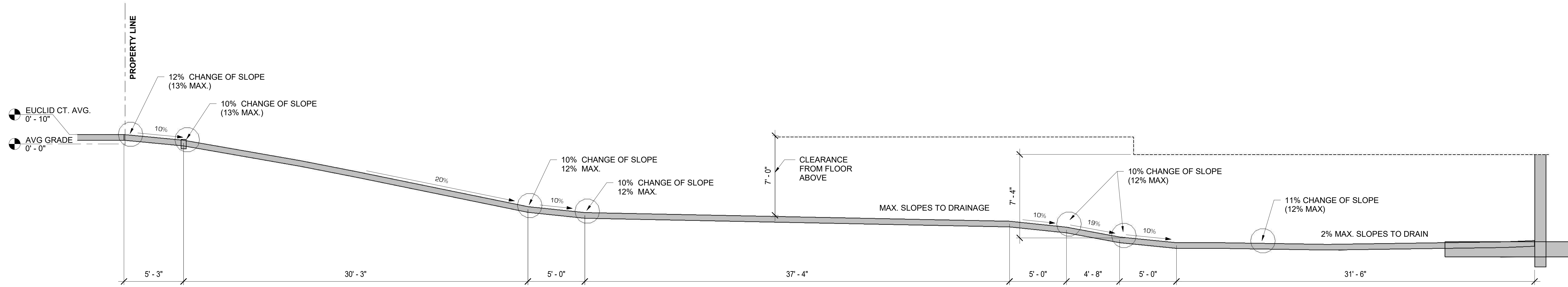
SHEET SIZE: 30X42

DRAWING TITLE:

SITE DETAILS

SHEET NO:

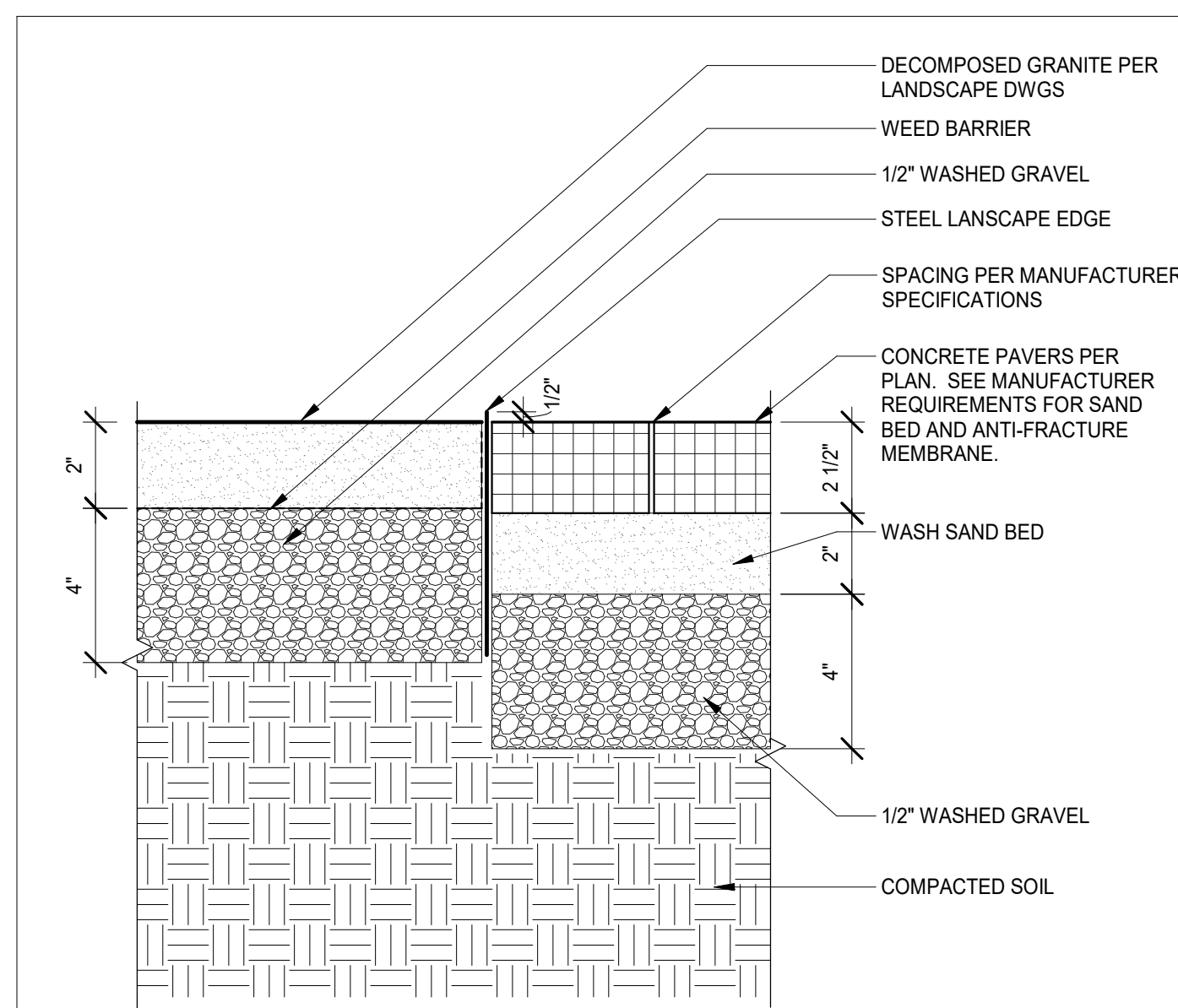
A910



SECTION THROUGH DRIVEWAY

SCALE
1/4" = 1'-0"

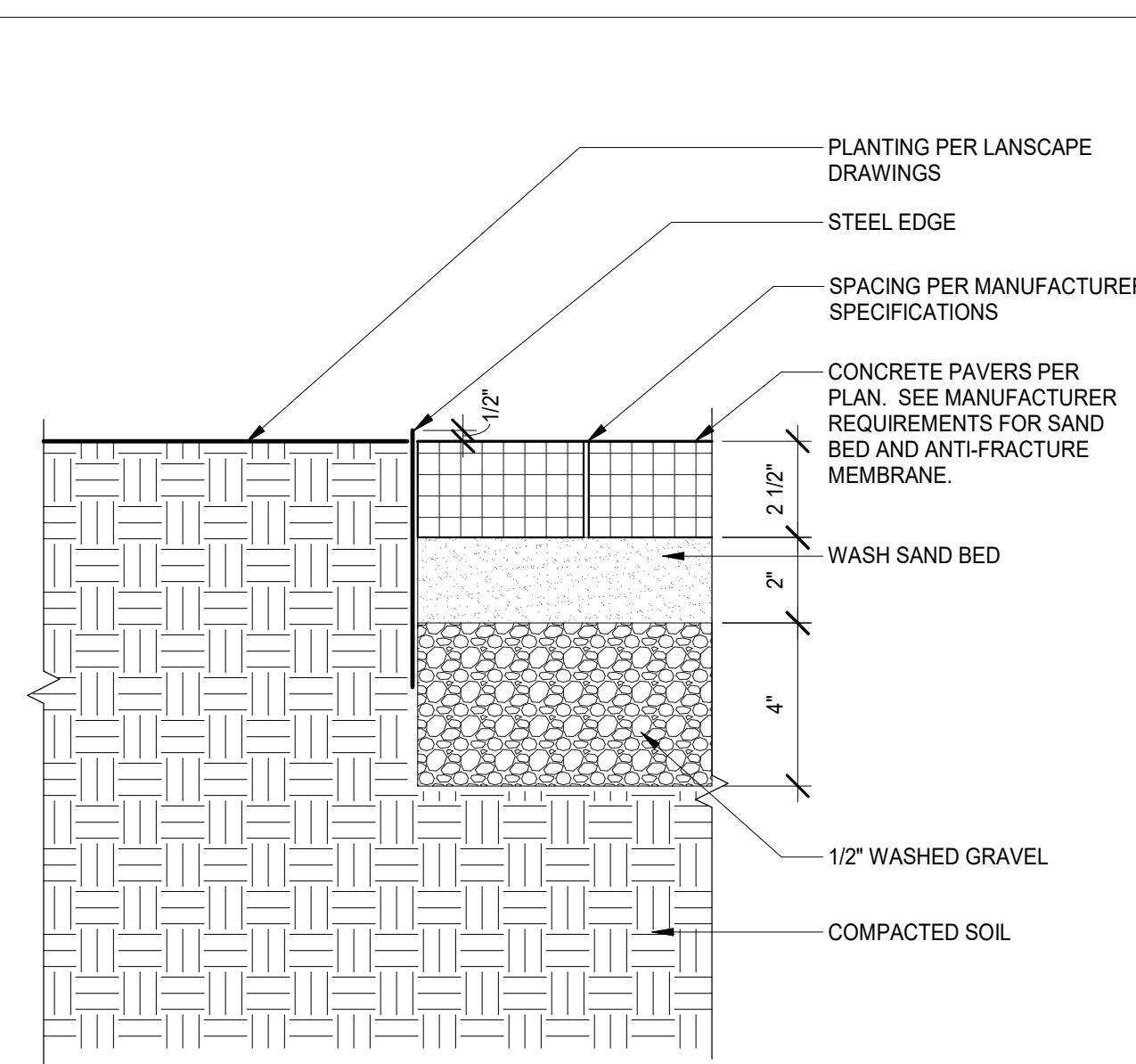
9



CONCRETE PAVERS @ SOFTSCAPE

SCALE
3" = 1'-0"

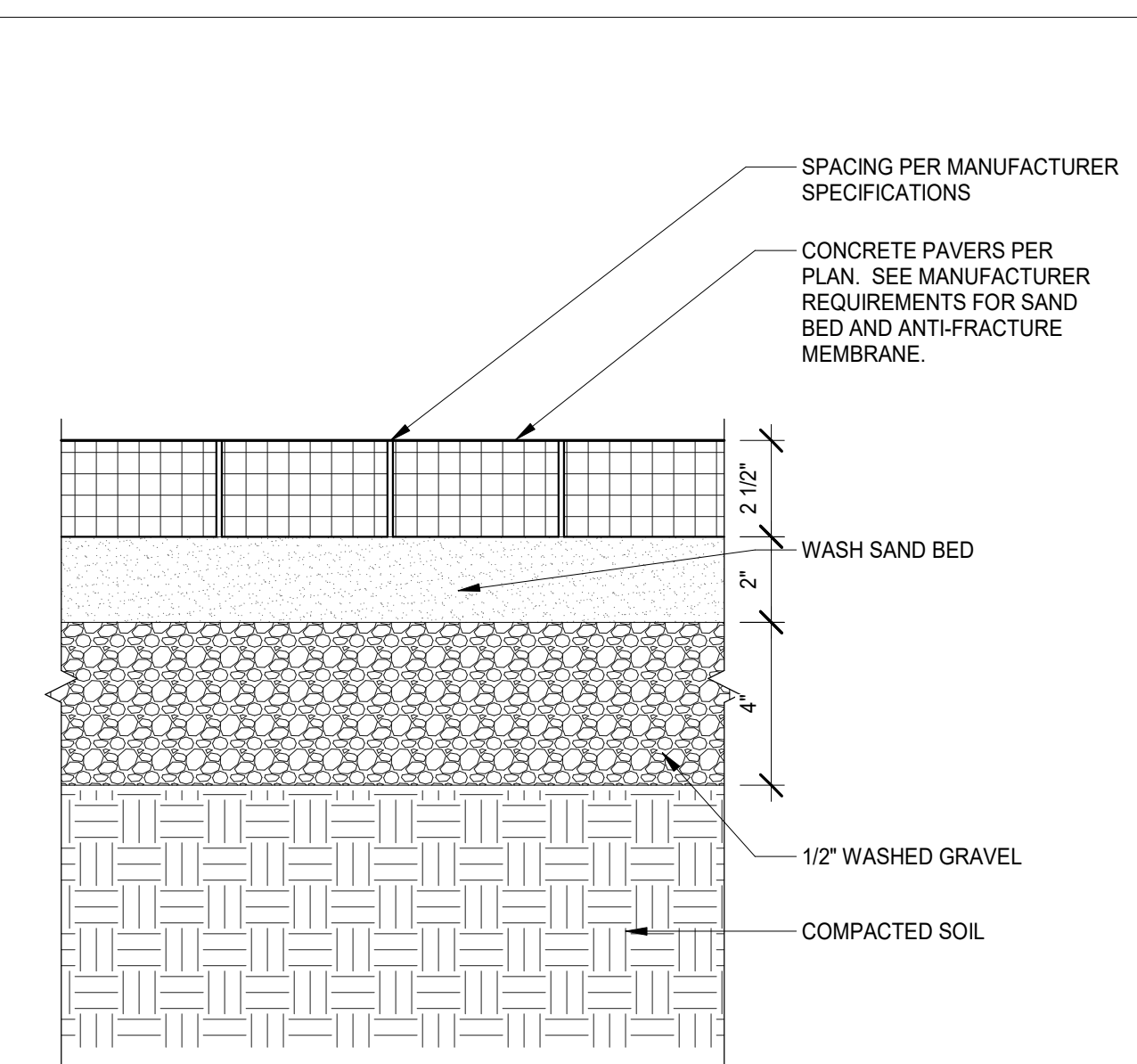
8



CONCRETE PAVERS @ LANDSCAPE

SCALE
3" = 1'-0"

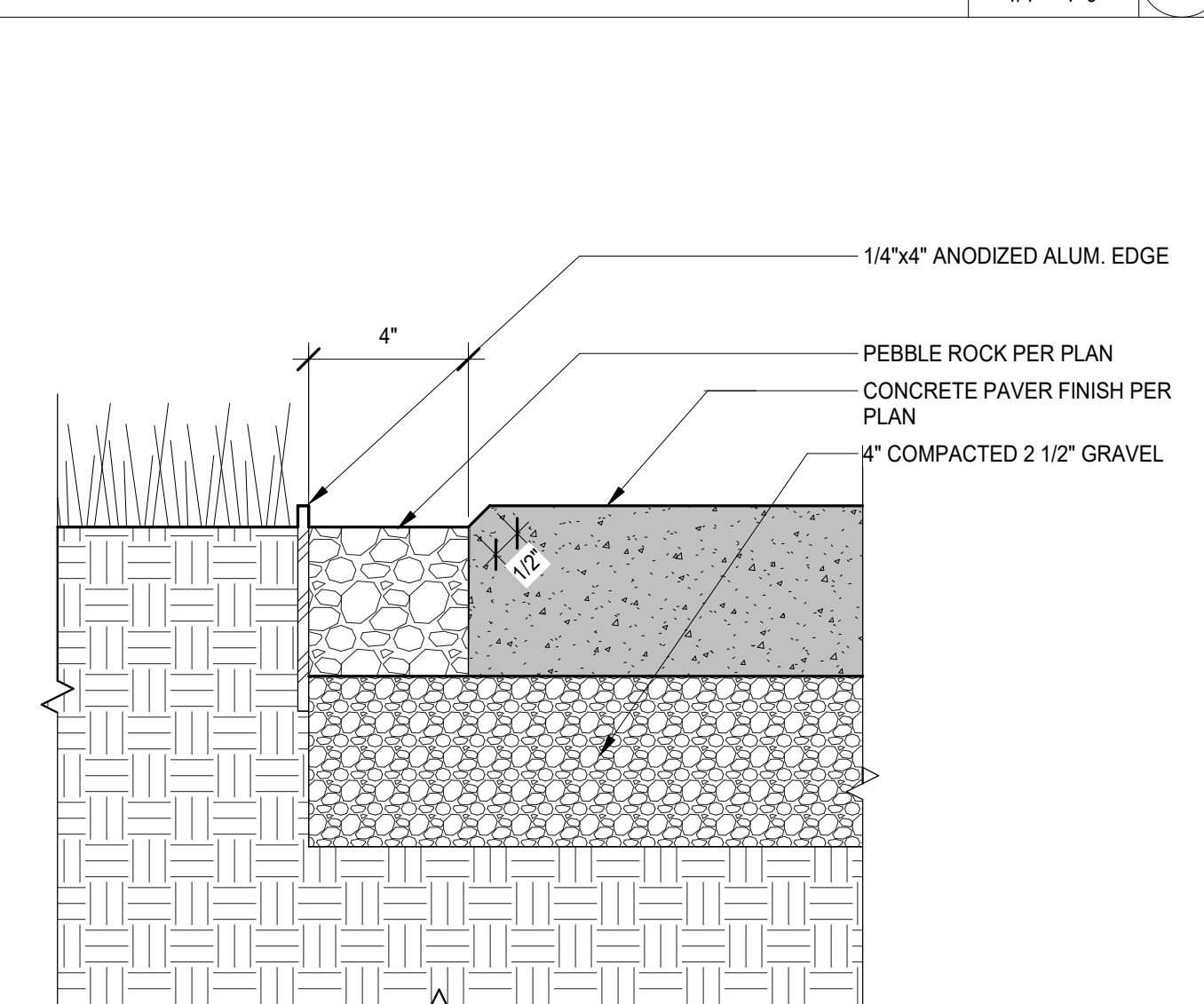
7



CONCRETE PAVERS

SCALE
3" = 1'-0"

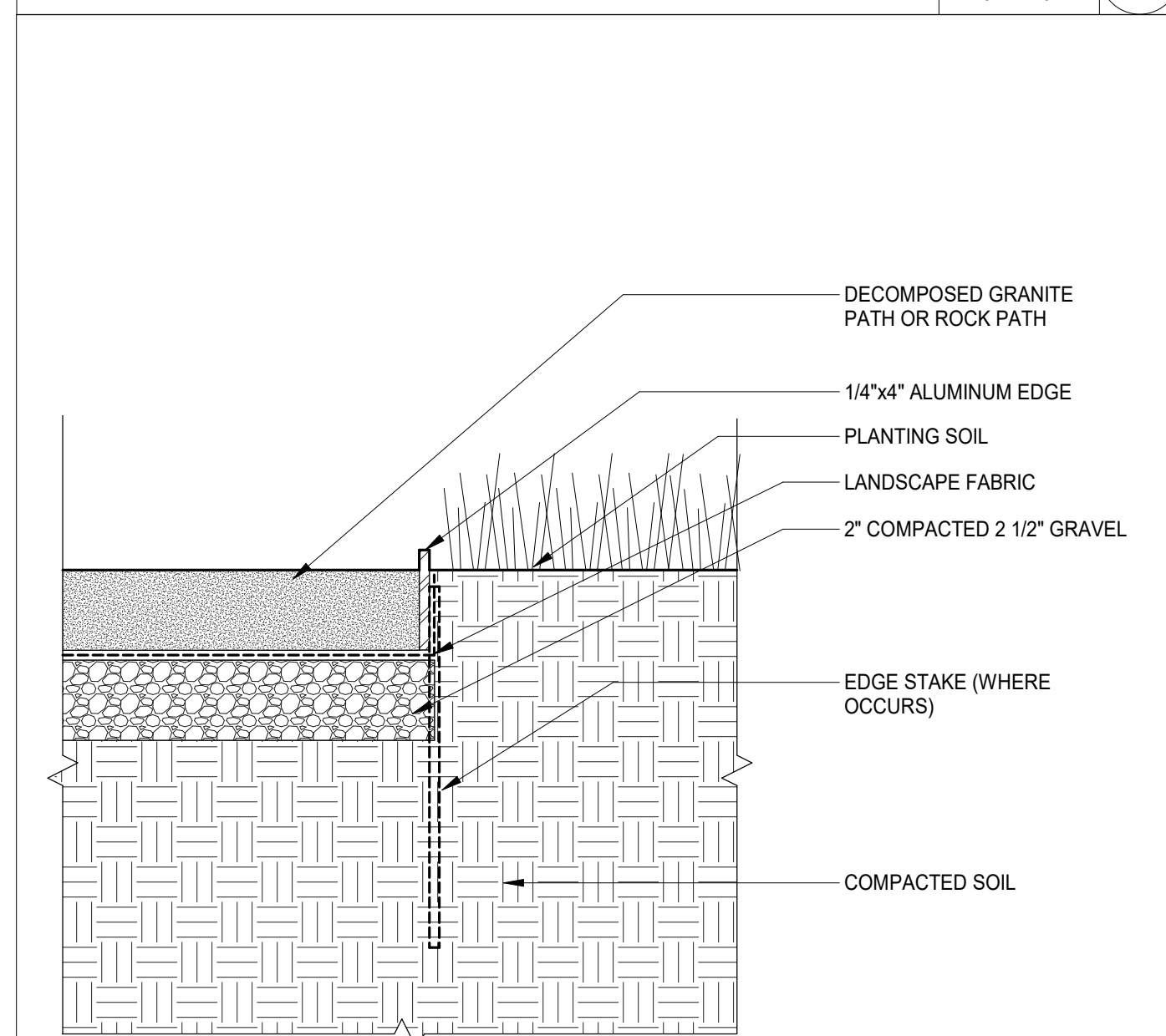
6



CONCRETE PAVER EDGE

SCALE
3" = 1'-0"

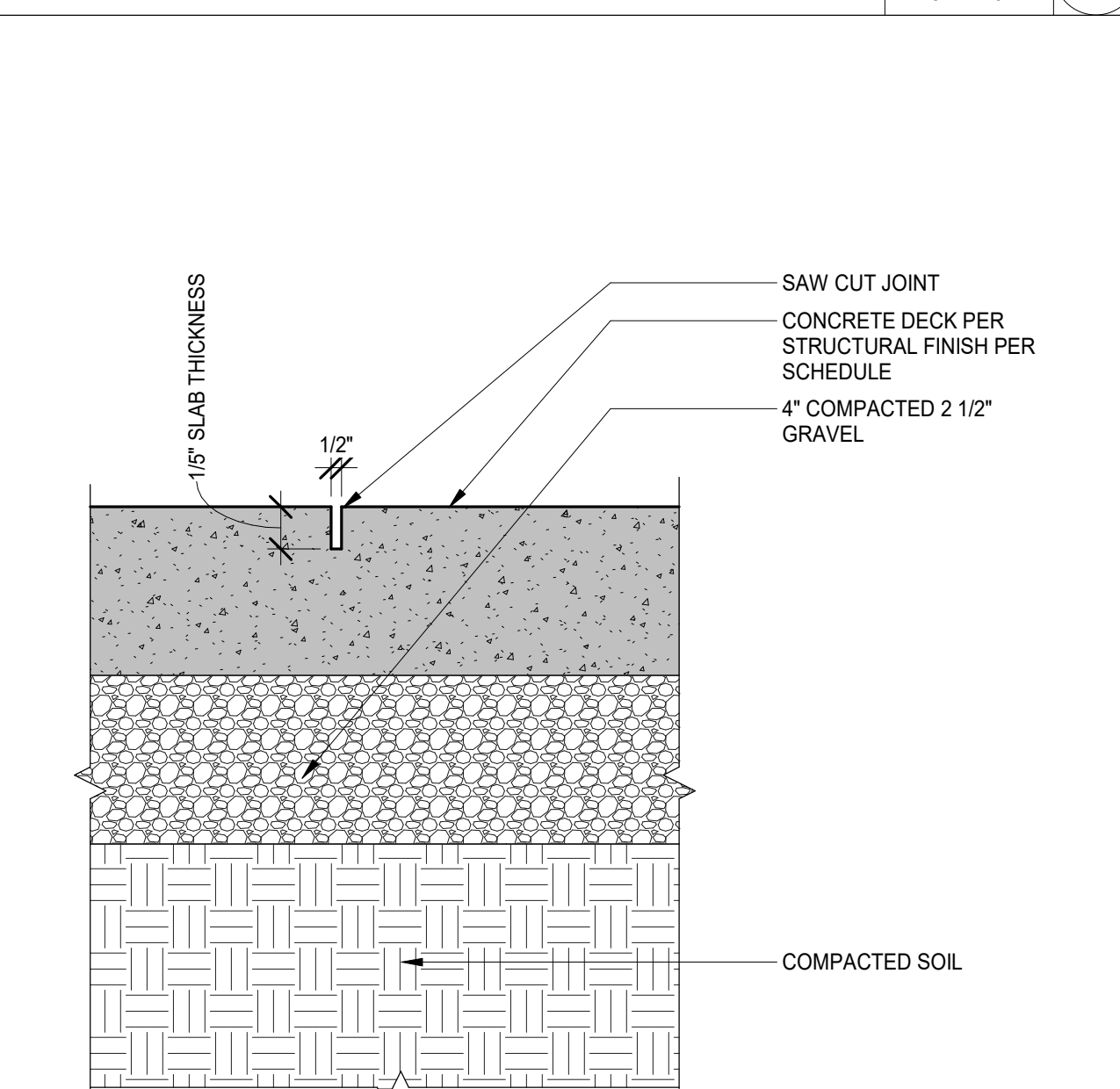
5



TYP. DECOMPOSED GRANITE PATH EDGE1

SCALE
3" = 1'-0"

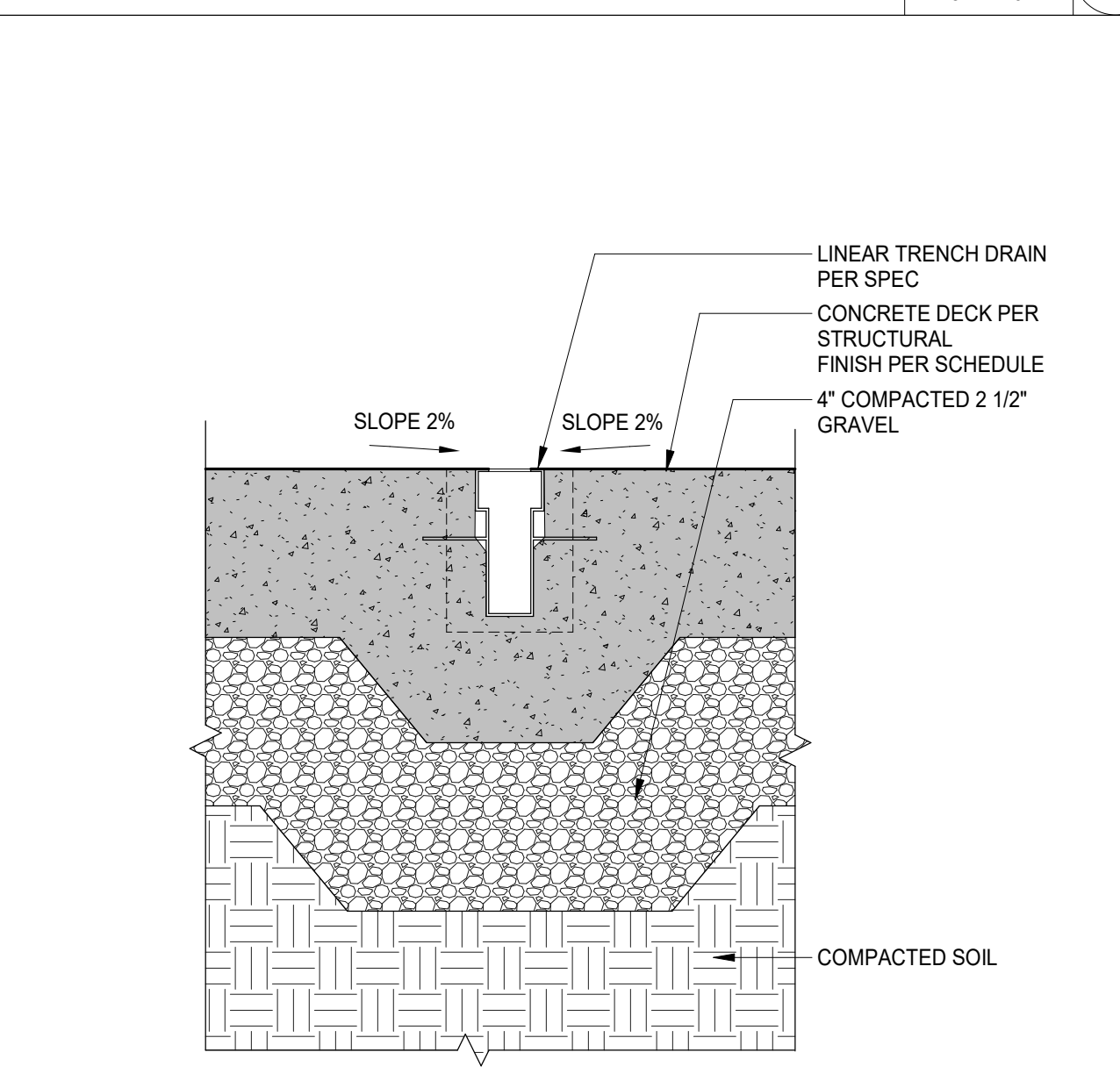
4



TYP. CONCRETE DECK SAW CUT JOINT

SCALE
3" = 1'-0"

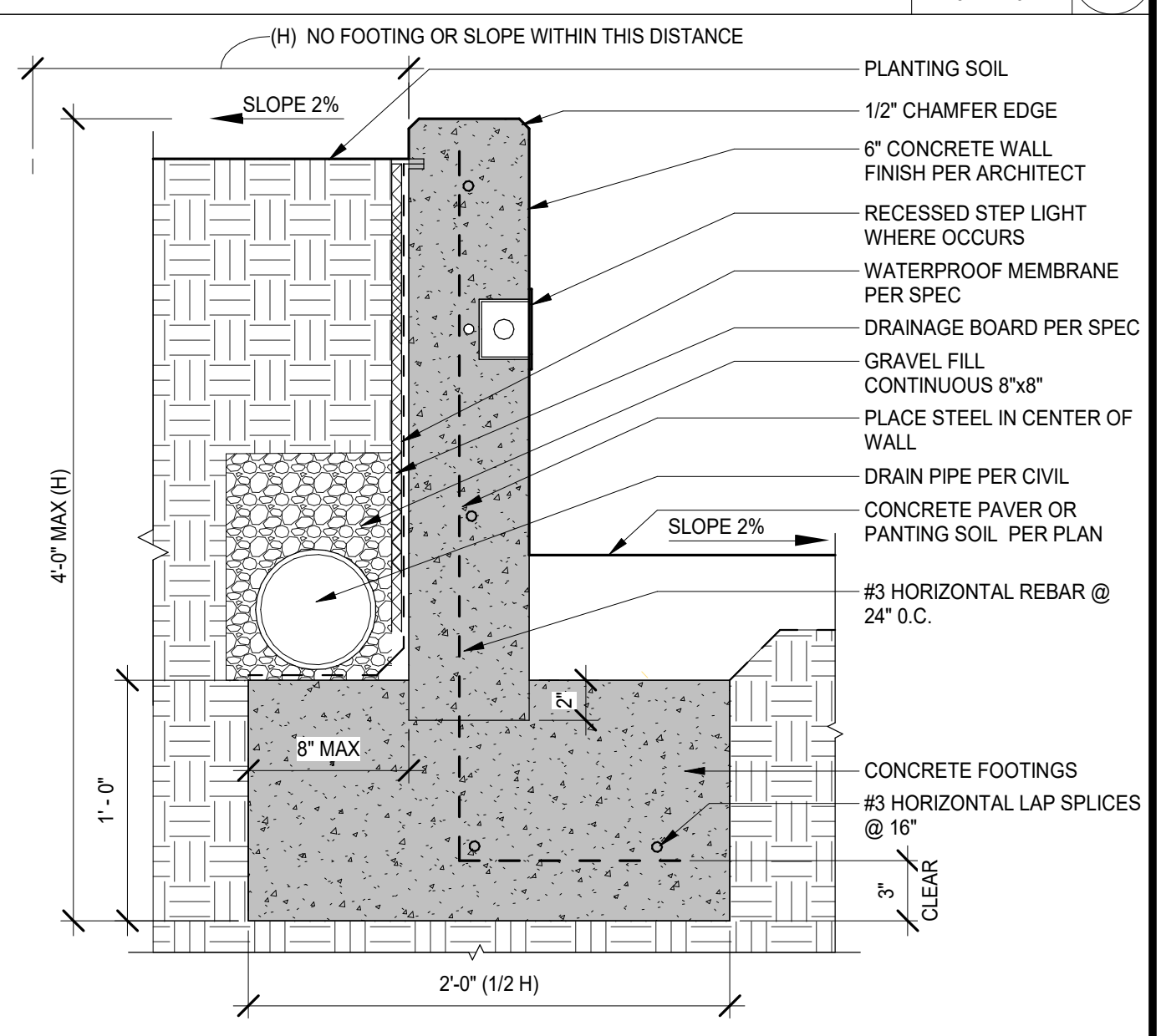
3



TYP. TRENCH DRAIN ON CONCRETE DECK

SCALE
3" = 1'-0"

2



TYP. CONCRETE PLANTER WALL

SCALE
1 1/2" = 1'-0"

1

PROJECT OWNER:

CONTACT:
TEL:

LANDSCAPE DESIGNER:

PROJECT:

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SANTA MONICA, CA 90404

ISSUE OR REVISION NOTES:

NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

PROJECT NO: 265

DRAWING SCALE:

SHEET SIZE: 30X42

DRAWING TITLE:

FINISH AND FIXTURE
SCHEDULE

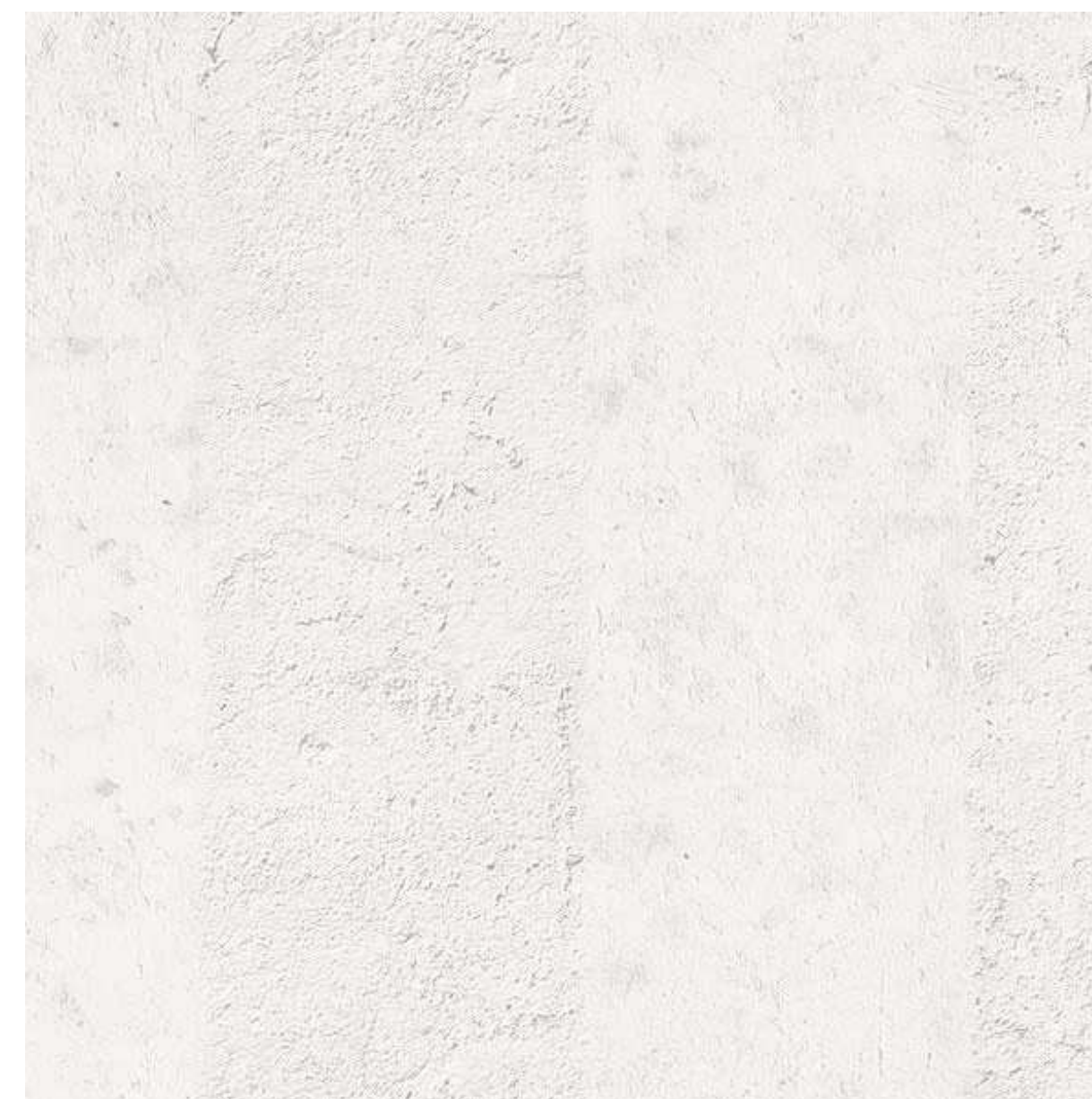
SHEET NO:

A950

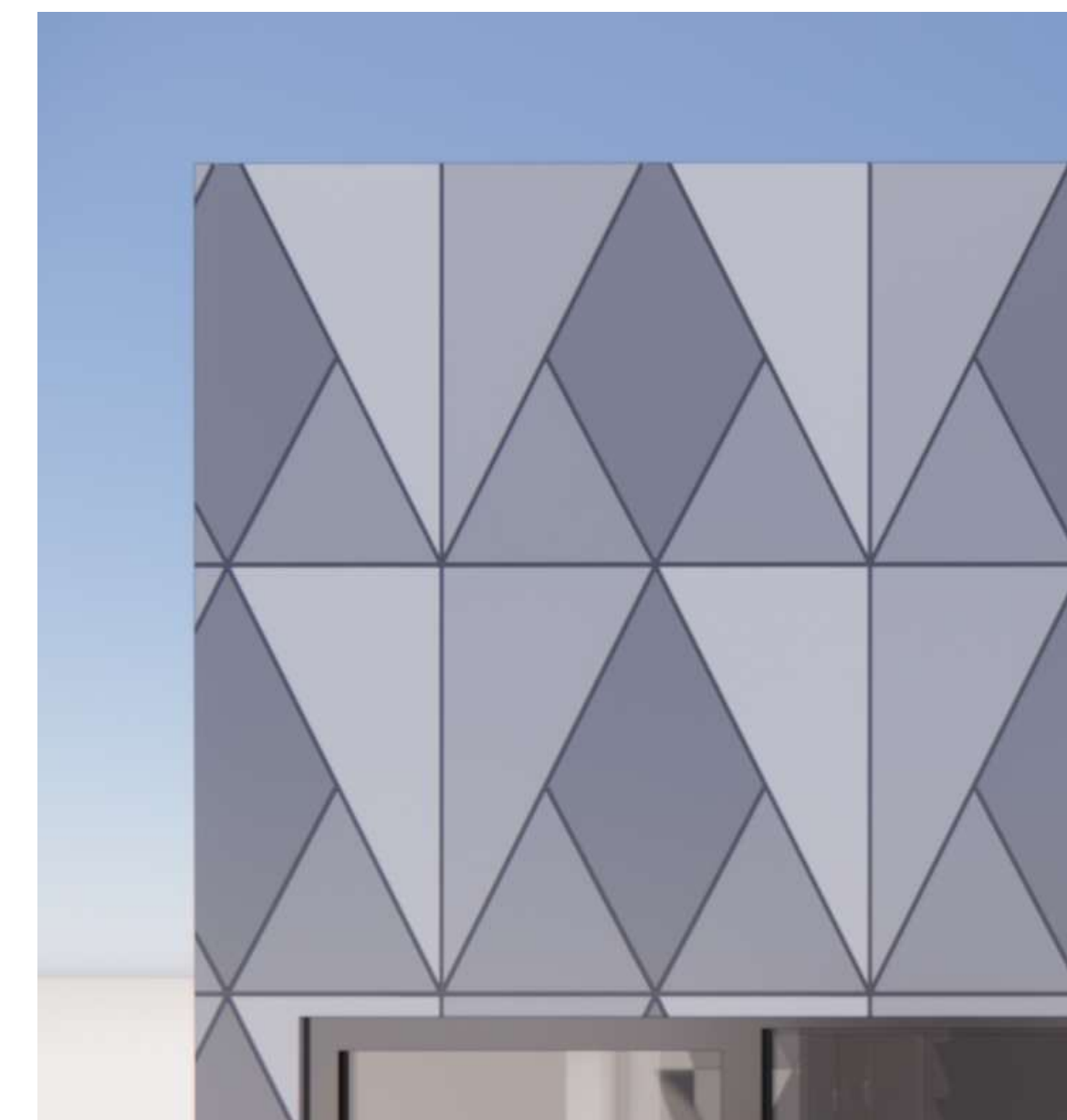
MATERIAL BOARD

FINISH SCHEDULE						
Finish Group	Finish Number	Finish Group Name	Finish Info-Description	Finish Info-Location	Finish Type	Type
E						
E	001	WALLS	STUCCO	SEE FINISH PLAN		STUCCO PER SPEC
E	002	WALLS	PORCELAIN TILE	SEE FINISH PLAN		PORCELAIN TILE
E	003	WALLS	CONCRETE BLOCK PER SPEC	SEE FINISH PLAN		CONCRETE BLOCK
E	004	WALLS	BOARD FORMED CONCRETE	SEE FINISH PLAN		BOARD FORMED CONCRETE
E	005	WALLS	G.F.R.C.	SEE FINISH PLAN		GFRC
F						
F	002	FLOORS	WOOD FLOORS	SEE FINISH PLAN	WOOD FLOORS PER SPEC	WOOD FLOORS
F	003	FLOORS	TILE FLOORS	SEE FINISH PLAN	TILE FLOORS PER SPEC	TILE FLOORS
F	005	FLOORS	COMPOSITE DECK PER SPEC	SEE FINISH PLAN	COMPOSITE DECK PER SPEC	COMPOSITE DECK PER SPEC
I						
I	001	INTERIOR FINISHES	PAINTED GYPSUM BOARD PER SPEC.	SEE FINISH PLAN		I PAINTED GYPSUM BOARD
I	002	INTERIOR FINISHES	WALL TILE PER SPEC	SEE FINISH PLAN		I WALL TILE
I	004	INTERIOR FINISHES	BASE PER SPEC	SEE FINISH PLAN		I BASE PER SPEC
I	005	INTERIOR FINISHES	STONE PER SPEC	SEE FINISH PLAN		I STONE PER SPEC
I	006	INTERIOR FINISHES	STONE TILE PER SPEC	SEE FINISH PLAN		I STONE TILE
L						
L	001	LANDSCAPE	UNCOVERED CONCRETE	SEE FINISH PLAN	UNCOVERED CONCRETE	UNCOVERED CONCRETE,B.F.
L	002	LANDSCAPE	PERMEABLE PAVING	SEE FINISH PLAN	PERMEABLE PAVING	PERMEABLE PAVING
L	003	LANDSCAPE	GRAVEL PER SPEC	SEE FINISH PLAN	GRAVEL PER SPEC	GRAVEL PER SPEC

E001: STUCCO



E002: PORCELAIN TILE RENDERING



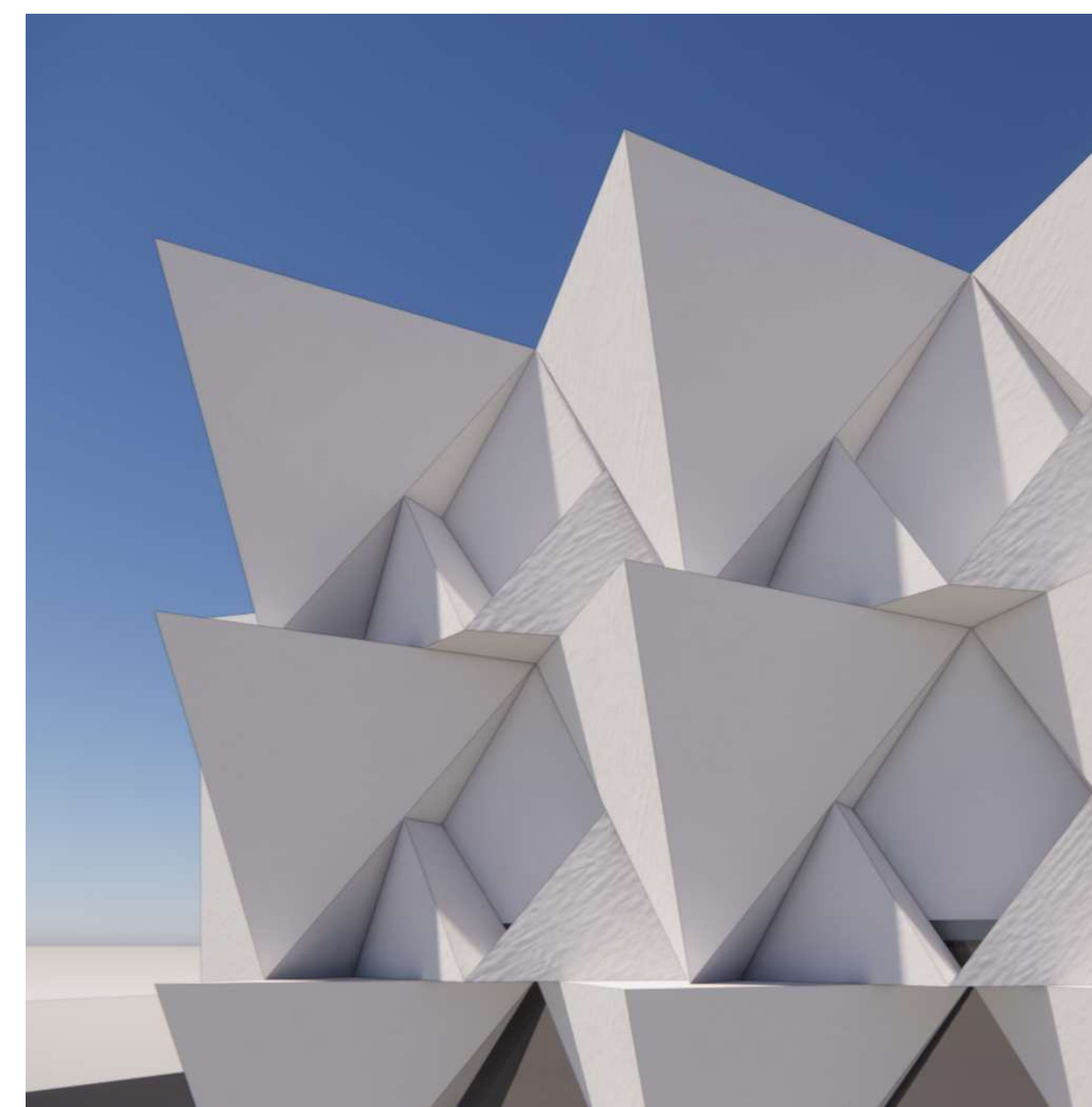
E003: CONCRETE BLOCK



E004: BOARD FORMED CONCRETE



E005: G.F.R.C. MODULE RENDERING



E005: G.F.R.C. REF. PHOTO TEXTURE



E005: G.F.R.C. PLANTER WALL REF. IMAGE

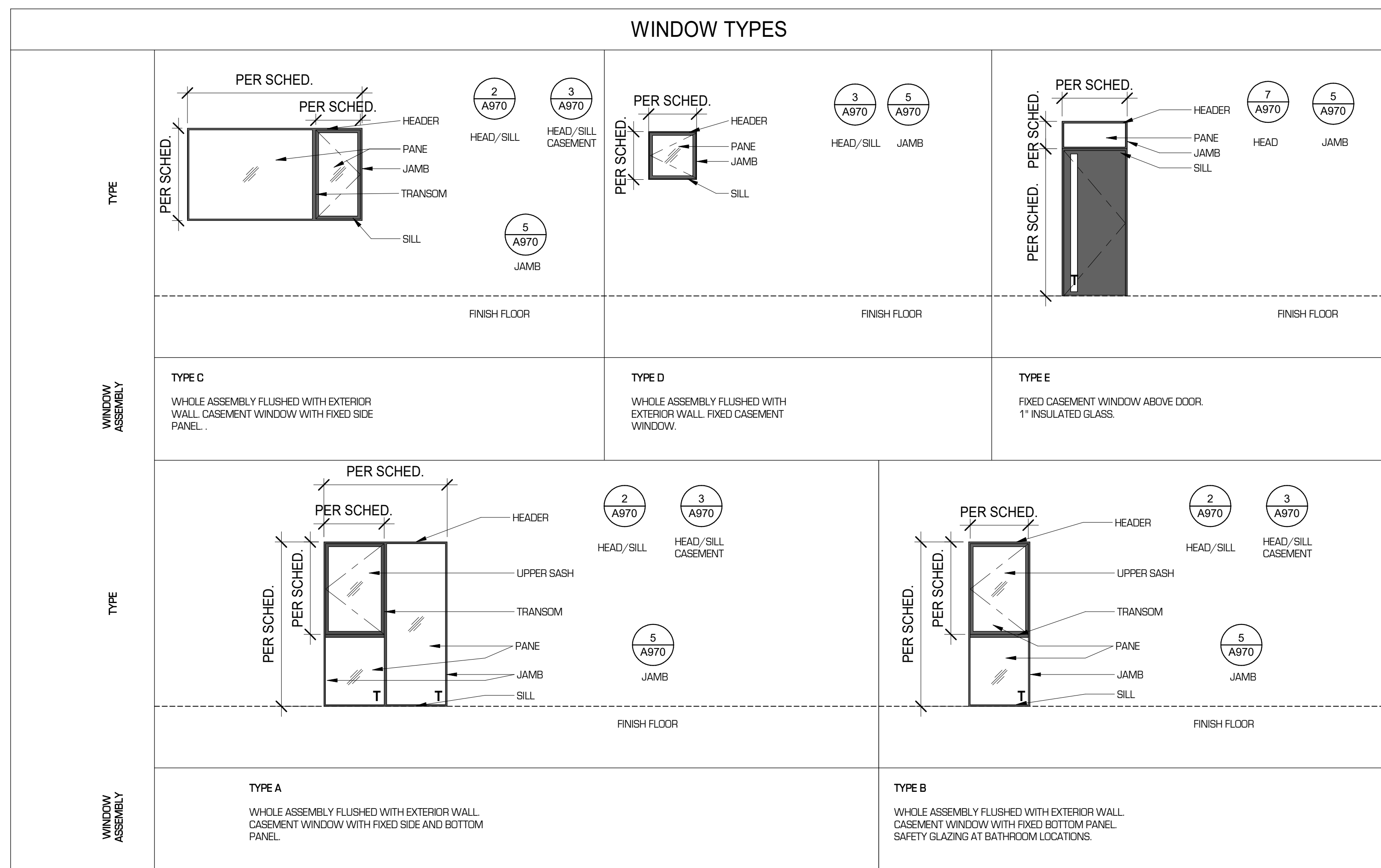


NO.	DATE	DESCRIPTION
1	2026.04.28	ADMINISTRATIVE REVIEW

DOOR SCHEDULE											
DOOR#	ROOM#	RM NAME	TYPE	DIMENSIONS			MATERIALS			Fire Rating	COMMENTS
				WIDTH	HEIGHT	THICKNESS	FRAME	PANEL	GLAZING		
BASEMENT FLOOR F.F.-B											
001	A-001	GARAGE	TYPE G	16' - 0"	7' - 6"	0' - 1"	MANUF	MANUF			OVERHEAD GARAGE DOOR
001A	001	STORAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
002	A-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HM			
003	A-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	HM	HCWD			
004	A-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
005	A-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HM		45 MIN	
BASEMENT FLOOR											
006	B-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
007			TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
008	B-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	HM	HM		45 MIN	
009	B-001	GARAGE	TYPE G	16' - 0"	7' - 6"	0' - 1"	MANUF	MANUF			OVERHEAD GARAGE DOOR
010	C-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HM			
011	C-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HM		45 MIN	
012	C-001	GARAGE	TYPE G	16' - 0"	7' - 6"	0' - 1"	MANUF	MANUF			OVERHEAD GARAGE DOOR
013	C-001	GARAGE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	HM	HM			
015	000	ELECTRICAL	TYPE A	5' - 0"	6' - 8"	0' - 1 3/4"	HM	HM			INCLUDE PANIC HARDWARE FROM INTERIOR - 8"X6"GRILLE
016	002	MECH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
DRIVEWAY											
172	EGRESS	REAR ALLEY	TYPE E	3' - 0"	6' - 0"	0' - 2"	MANUF	MANUF			EXTERIOR GATE
173	EGRESS	REAR ALLEY	TYPE E	3' - 0"	5' - 6"	0' - 2"	MANUF	MANUF			EXTERIOR GATE
174			TYPE A	11' - 0"	5' - 0"	0' - 1 3/4"					
1ST FLOOR - UNIT A											
101	A-100	FOYER	TYPE C	3' - 0"	7' - 1"	0' - 1 3/4"	VNL	MANUF	GL		TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"
102			TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
103			TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
104	A-103	PWDR	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
1ST FLOOR - UNIT B/C											
106	B-100	FOYER	TYPE C	3' - 0"	7' - 1"	0' - 1 3/4"	VNL	MANUF	GL		TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"
107	B-105	PWDR	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
108	B-101A	CORRIDOR	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
109	B-104	FLEX SPACE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
110	B-103	KITCHEN	TYPE C	3' - 0"	7' - 1"	0' - 1 3/4"	VNL	MANUF	GL		TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"
112	C-100	FOYER	TYPE C	3' - 0"	7' - 1"	0' - 1 3/4"	VNL	MANUF	GL		TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"
113	C-100	FOYER	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
114	C-103	PWDR	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
115	C-101A	CORRIDOR	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
116	C-105	FLEX SPACE	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
119	C-101	LIVING RM	TYPE C	3' - 0"	7' - 1"	0' - 1 3/4"	VNL	MANUF	GL		TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"
2ND FLOOR - UNIT A											
201	A-200	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
202	A-200	CLOSET	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
203			TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
204	A-201	BATHROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
205	A-202	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
207	A-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
208	A-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
209	A-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
210	A-205	MASTER BATH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
231	A-202	BEDROOM	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
2ND FLOOR - UNIT B/C											
212	B-200	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
213	B-200	BEDROOM	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
214	B-201	BATH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
215	B-202	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
216	B-202	BEDROOM	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
217	B-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
218	B-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
219	B-203	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
220	B-204	M. BATH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
222	C-200	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
223	C-200	BEDROOM	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
224	C-201	BATH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
225	C-202	BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
226	C-202	BEDROOM	TYPE A	5' - 2"	6' - 8"	0' - 1 3/4"	WD	HCWD			
227	C-204	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
228	C-204	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
229	C-204	MASTER BEDROOM	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			
230	C-205	M.BATH	TYPE D	2' - 8"	6' - 8"	0' - 1 3/4"	WD	HCWD			

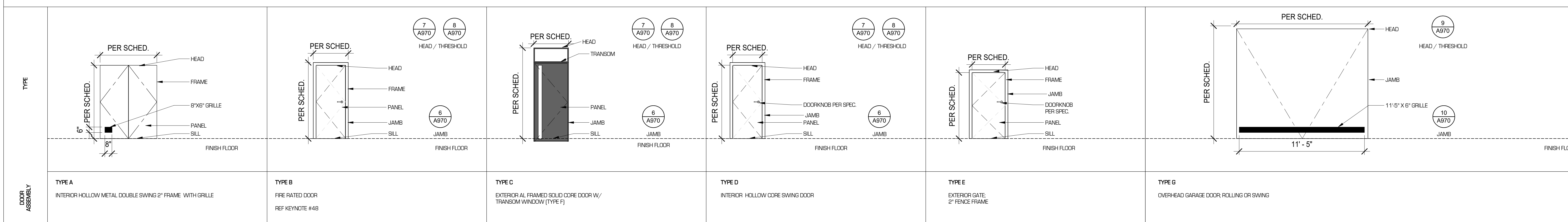
AUX WINDOW SCHEDULE													
ID	TYPE	QTY.	DIMENSIONS		DIMENSIONS (OPR.)		MATERIALS		SHADE SYSTEM	SAFETY GLAZING	U-Factor	SHGC	REMARKS
			WIDTH	HEIGHT	OPR. WIDTH	OPR. HEIGHT	FRAME	GLAZING					
W.A1	A	6	8' - 6"	8' - 6"	3' - 0"	5' - 6"	AL	GL	SCREEN	Y	0.36	0.21	
W.A2	A	11	7' - 0"	7' - 0"	3' - 0"	4' - 0"	AL	GL	SCREEN	Y	0.36	0.21	
W.B1	B	7	3' - 0"	7' - 0"	3' - 0"	4' - 0"	AL	GL	SCREEN	Y	0.36	0.21	IN-SWING OPR.
W.B2	B	4	3' - 0"	6' - 0"	3' - 0"	4' - 0"	AL	GL	SCREEN	Y	0.36	0.21	
W.C1	C	1	8' - 6"	4' - 6"	2' - 4"	4' - 6"	AL	GL	SCREEN		0.36	0.21	
W.D2	D	9	2' - 4"	4' - 8"	2' - 4"	4' - 8"	AL	GL	SCREEN	VERIFY	0.36	0.21	REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS
W.D3	D	5	4' - 8"	2' - 4"	4' - 8"	2' - 4"	AL	GL	SCREEN		0.36	0.21	REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS
W.D4	D	1	3' - 0"	7' - 0"	3' - 0"	7' - 0"	AL	GL	SCREEN		0.36	0.21	REFER TO ELEVATIONS FOR TEMPERED GLAZING LOCATIONS
W.D5	A	1	3' - 0"	8' - 6"	3' - 0"	5' - 6"	AL	GL	SCREEN	Y	0.36	0.21	
GRAND TOTAL: 45													

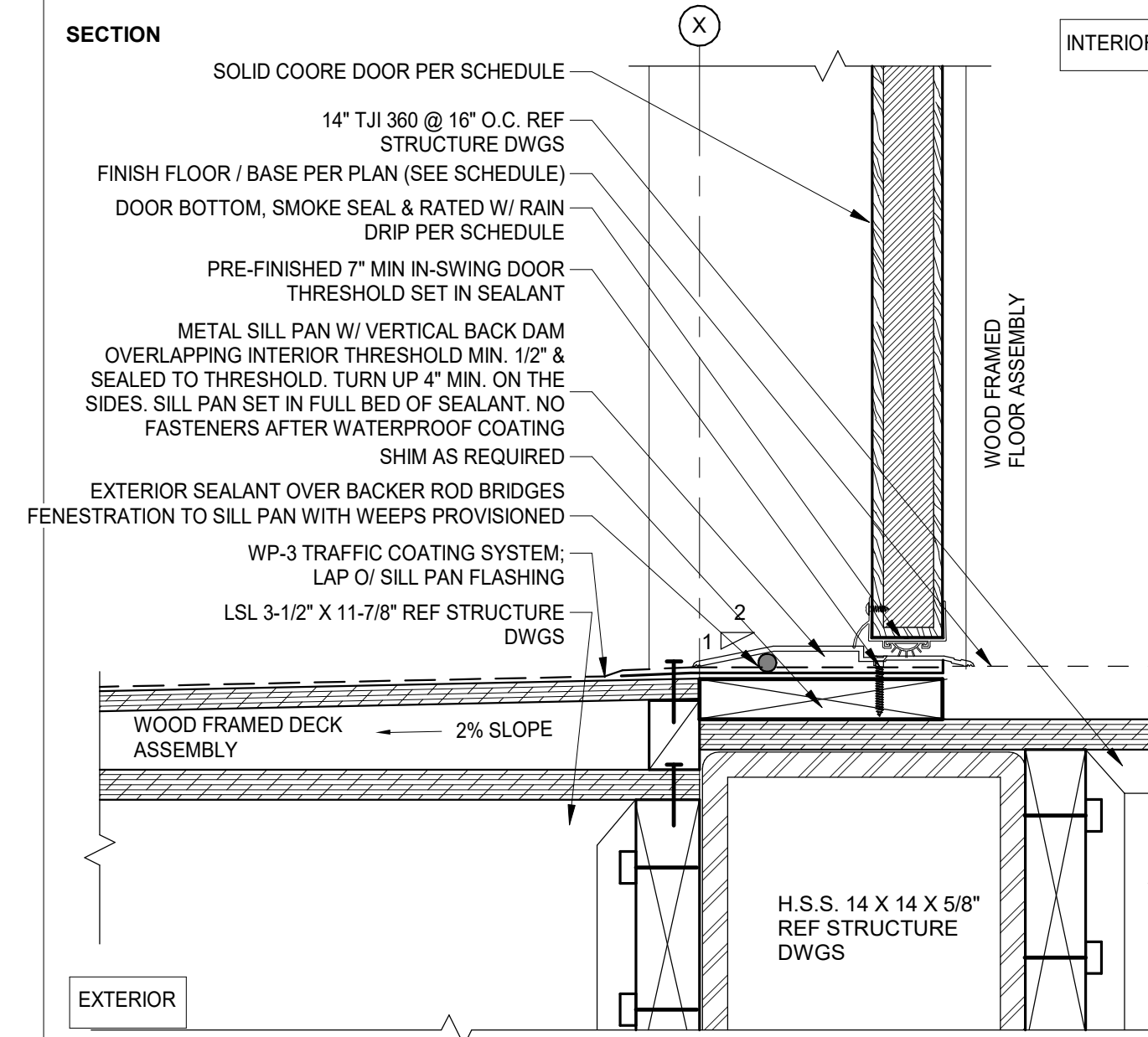
DOOR SCHEDULE GLAZING				
DOOR#	MATERIALS		TRANSOM WINDOW INFORMATION	
	FRAME	GLAZING		
101	AL Clear	GL	TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"	
106	AL Clear	GL	TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"	
110	AL Clear	GL	TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"	
112	AL Clear	GL	TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"	
119	AL Clear	GL	TYPE F TRANSOM WINDOW - 3'-2" x 1'-4"	



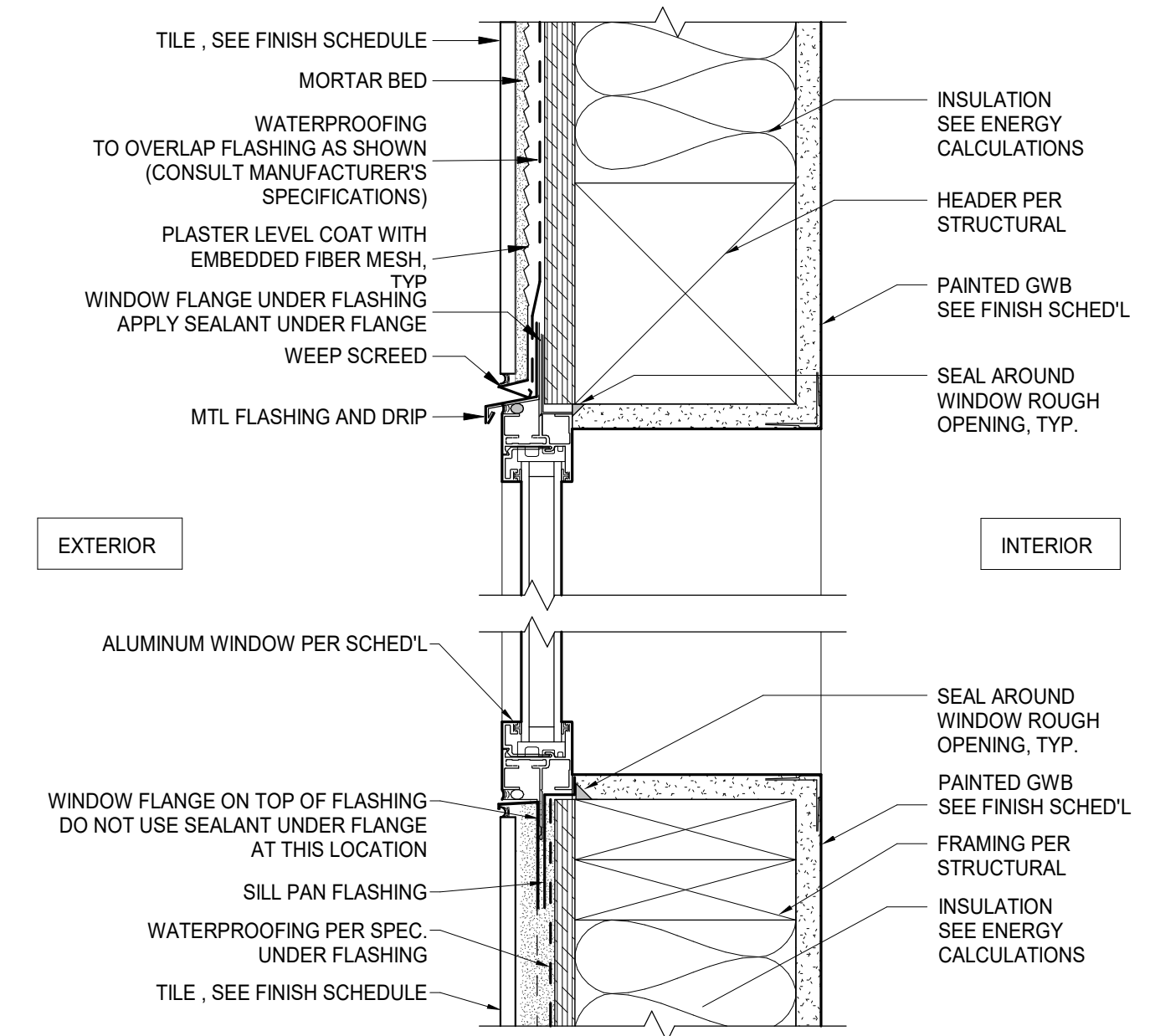
T = TEMPERED GLAZING

DOOR TYPES

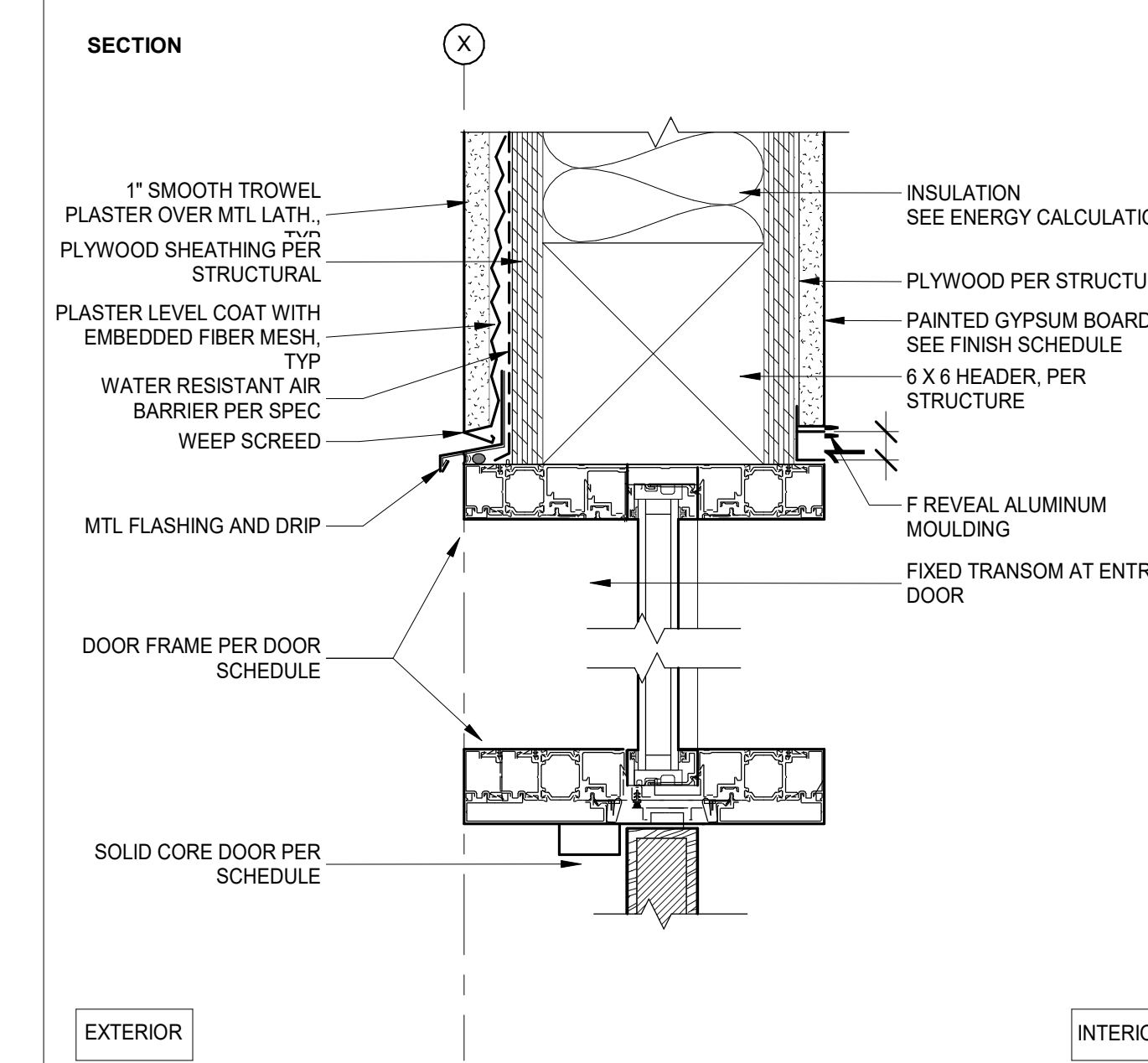




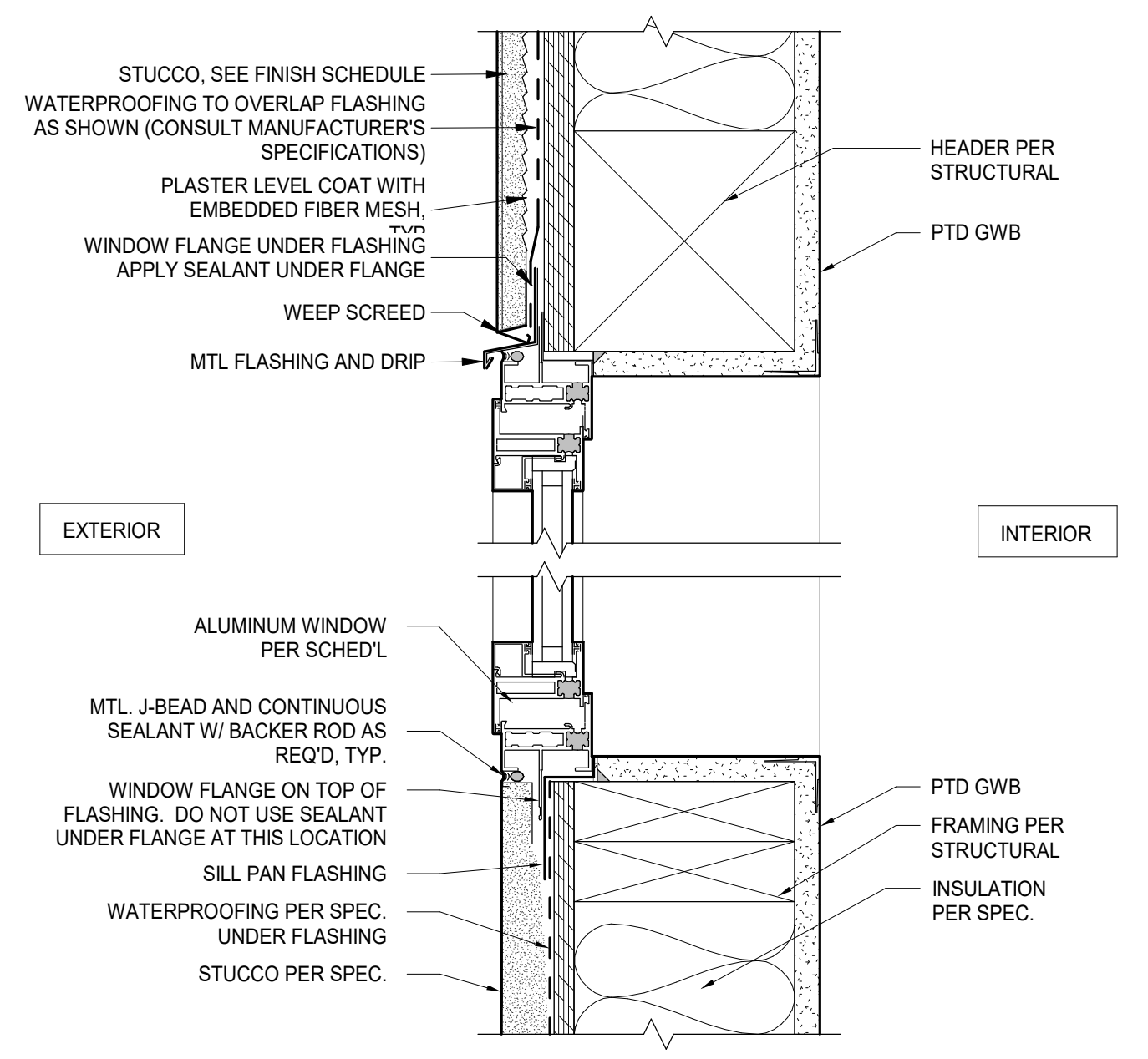
TYP. EXT. DOOR SILL @ STUCCO WALL SCALE 3" = 1'-0" 8



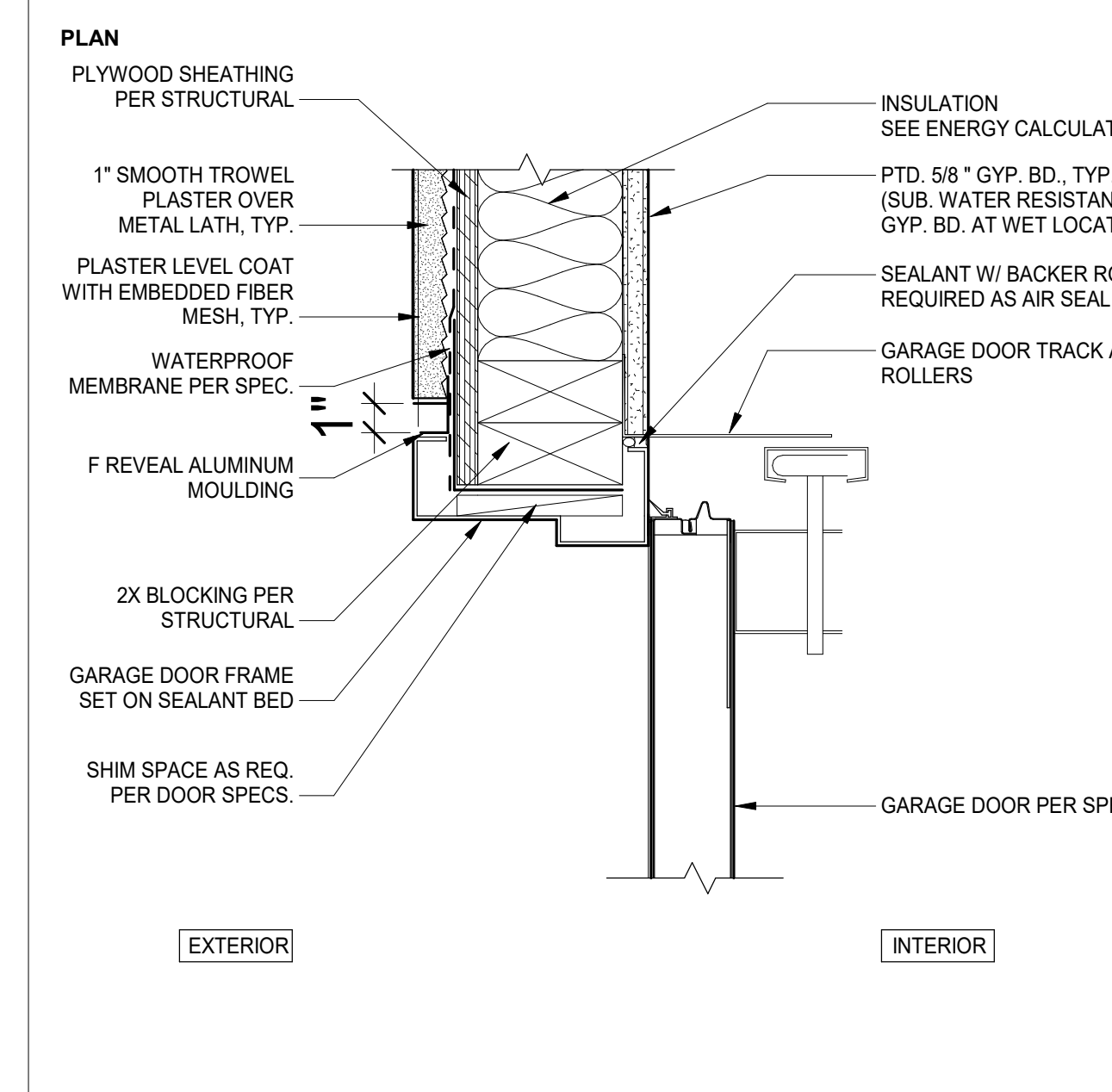
TYP. FIXED WINDOW HEAD & SILL @ TILE SCALE 3" = 1'-0" 4



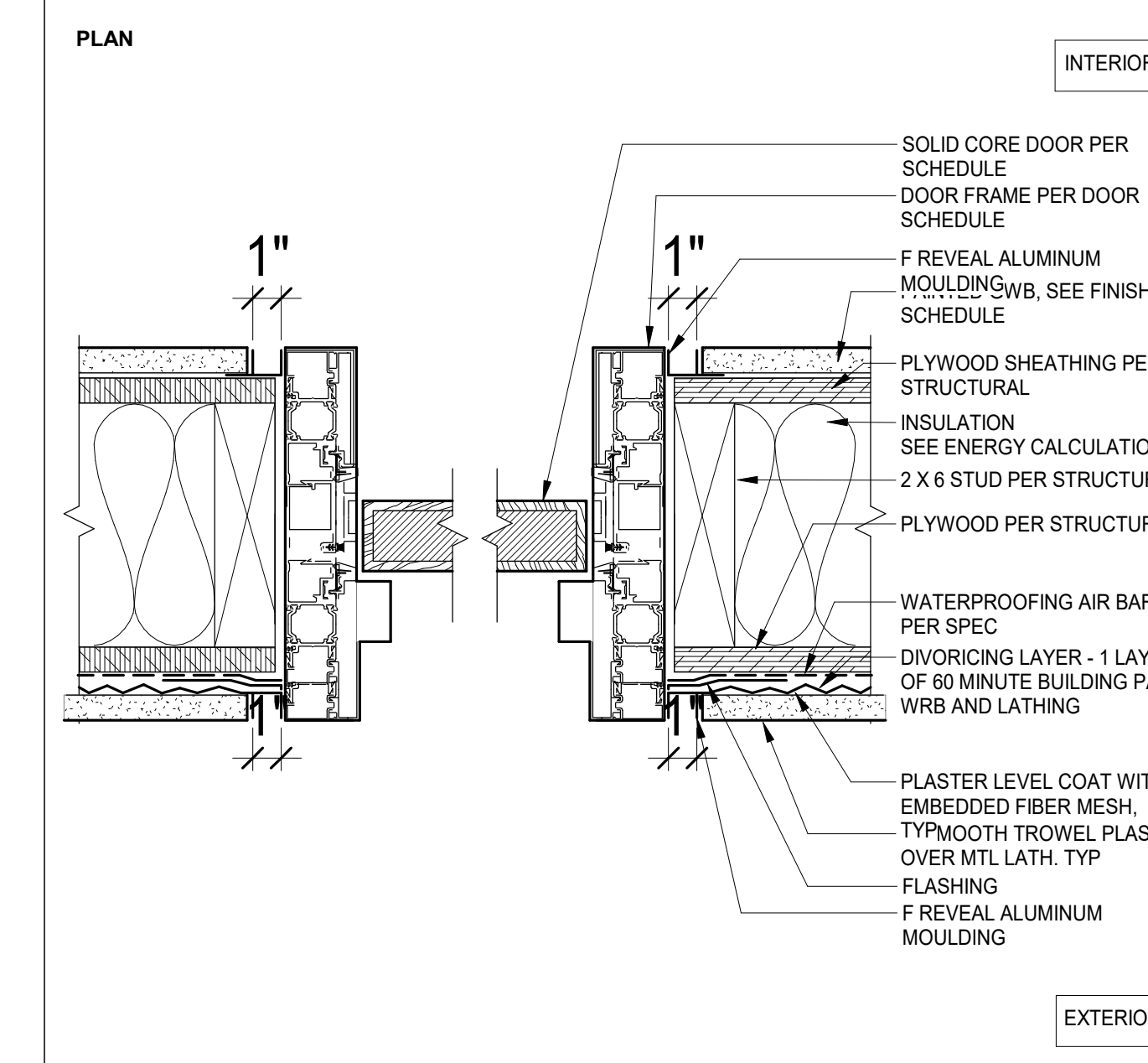
TYP. EXT. DOOR HEAD @ STUCCO SCALE 3" = 1'-0" 7



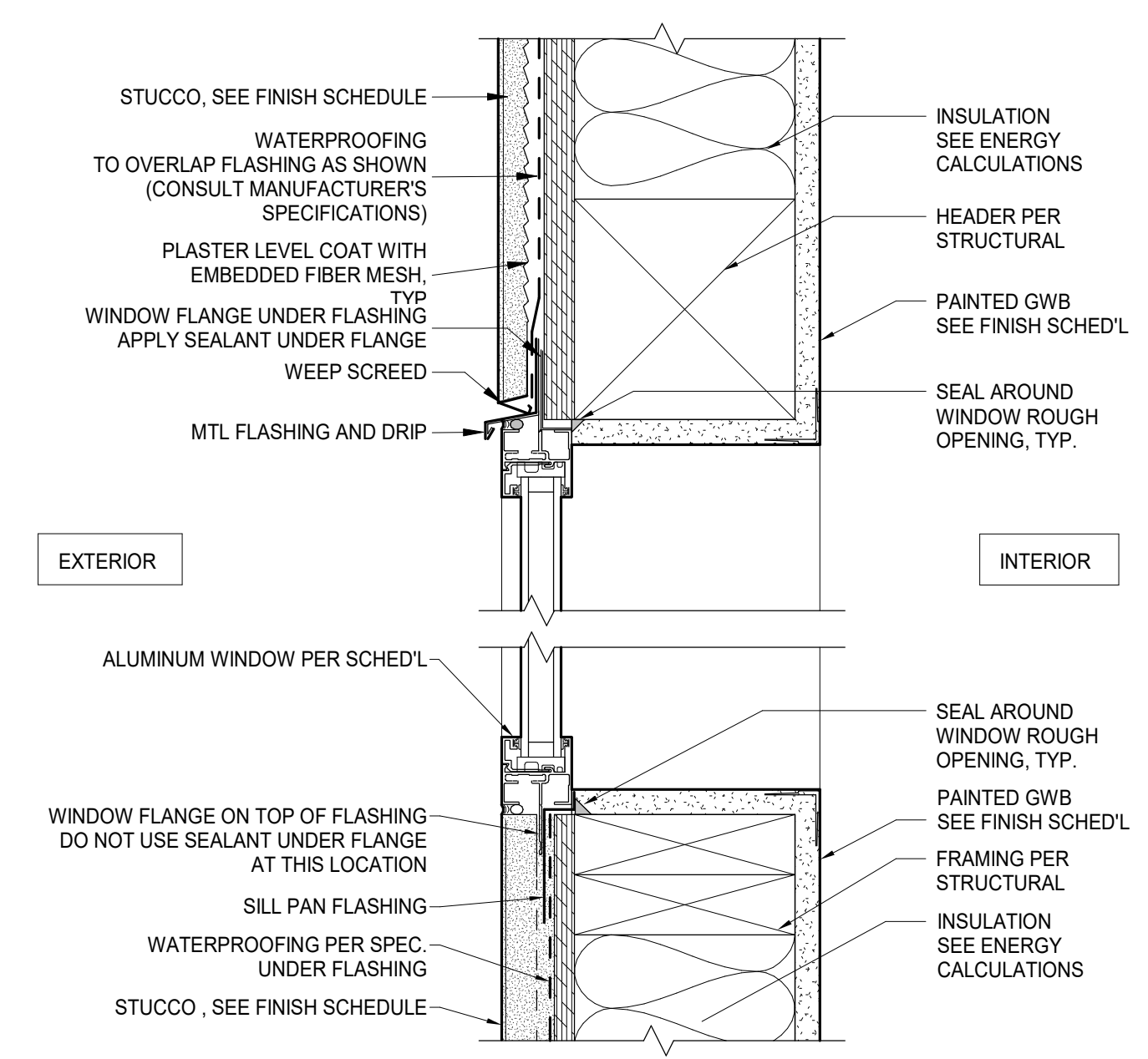
TYP. CAS./AWN. WIND. HEAD/SILL @ STUCCO SCALE 3" = 1'-0" 3



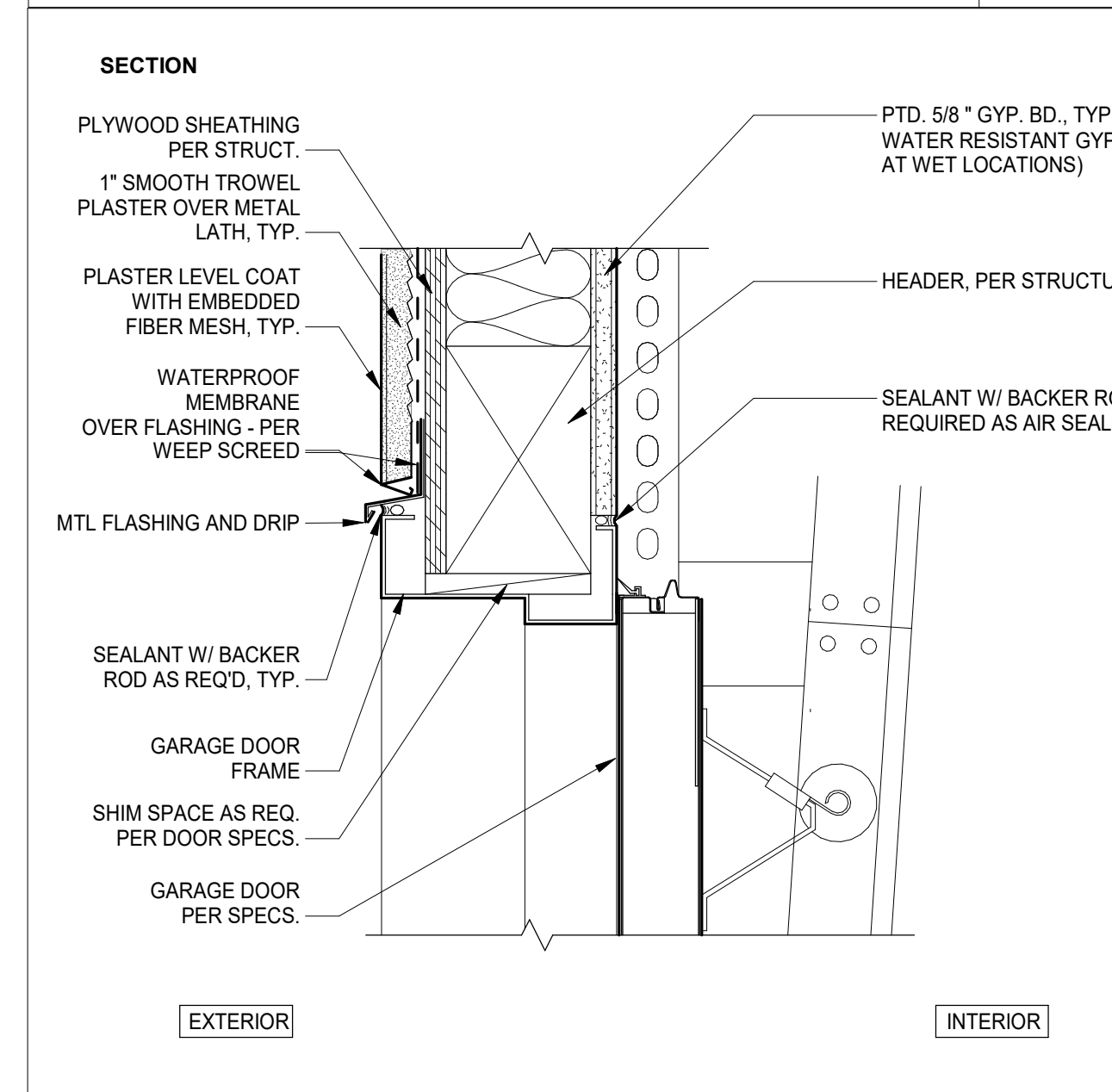
TYP. GARAGE DOOR JAMB @ STUCCO WALL SCALE 3" = 1'-0" 10



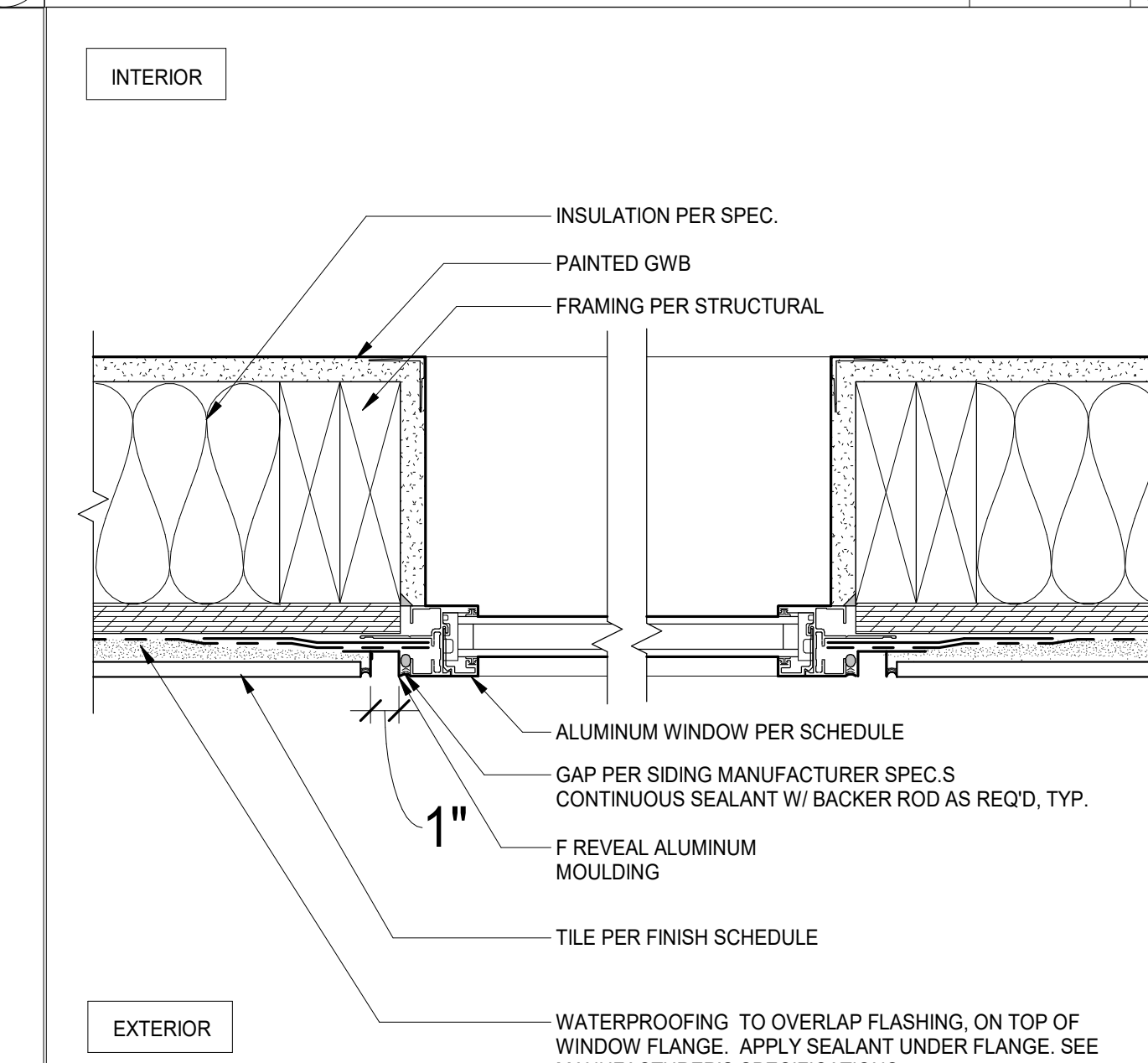
TYP. EXT. CLADED DOOR JAMB @ STUCCO SCALE 3" = 1'-0" 6



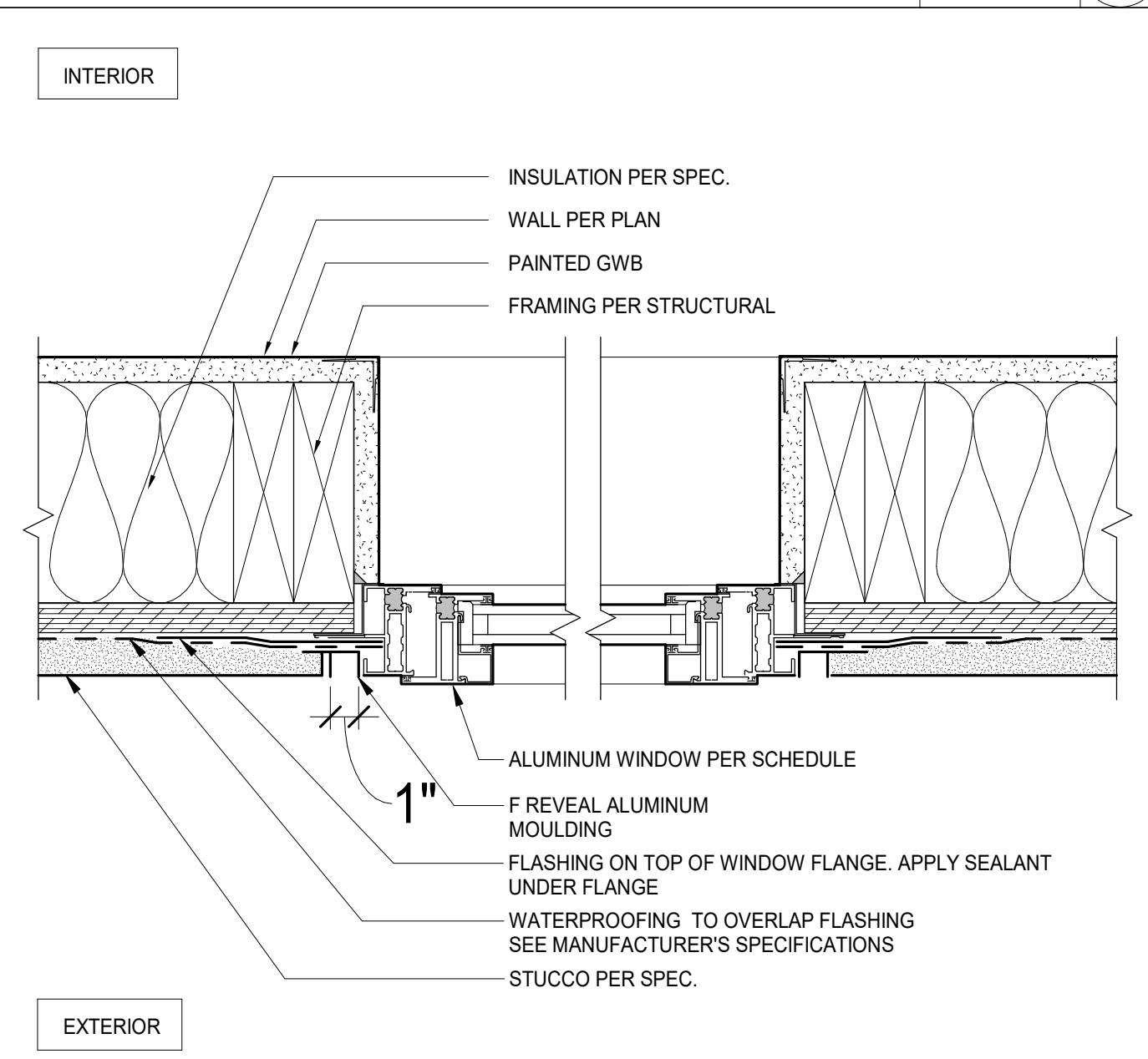
TYP. FIXED WINDOW HEAD & SILL @ STUCCO SCALE 3" = 1'-0" 2



TYP. GARAGE DOOR HEAD @ STUCCO WALL SCALE 3" = 1'-0" 9



TYP. FIXED WINDOW JAMB @ TILE SCALE 3" = 1'-0" 5



TYP. CAS./AWNING WIND. JAMB @ STUCCO SCALE 3" = 1'-0" 1

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